

A detailed black and white landscape architectural plan of the Evergreen area in San Jose. The plan features a central circular pond surrounded by a dense ring of trees and shrubs. Radiating from this center are several paths and landscaped areas, including a large rectangular area with a grid pattern in the lower left. The entire plan is bordered by a thick, irregular line of trees. The text 'JULY 20, 1991' is written in a stylized font across the upper middle, and 'CITY OF SAN JOSE' is written in a bold, sans-serif font below it. At the bottom, 'EVERGREEN' is written in a large, bold, serif font, with 'SPECIFIC PLAN' in a smaller, spaced-out, sans-serif font underneath.

JULY 20, 1991

CITY OF SAN JOSE

EVERGREEN

SPECIFIC PLAN

# **EVERGREEN SPECIFIC PLAN**

**Approved by the San Jose City Council on July 2, 1991**

Prepared for The City of San Jose  
by Dahlin Group, Inc.

July 2, 1991



## Acknowledgments

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**T**he Evergreen Specific Plan and associated documents represent over a year's worth of effort by a wide range of individuals. Dahlin Group would like to acknowledge the following groups and individuals for their valuable assistance and contributions toward the development of San Jose's first Specific Plan.

### **The Evergreen Specific Plan Task Force**

The Evergreen Specific Plan Task Force, chaired by Councilmember Pat Sausedo, have volunteered their time twice a month over the past year to guide the development of the specific plan. After a year of analyzing traffic impacts, environmental issues, density allocations, land use relationships and infrastructure layouts, the Task Force should be proud of their contributions and commitment they have shown to the project. The Evergreen Specific Plan Task Force members are:

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## **The City of San Jose City Staff**

The City of San Jose City staff, representing all of the various City departments involved in the specific plan process, have invested a great deal of time and effort in working with the property owners, consultants, and Task Force. In that this is San Jose's first specific plan, the contribution by City staff has been invaluable in working toward the goal of a unique and distinctive project.

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## **Executive Summary**



# Chapter 1 - Executive Summary

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**T**he Evergreen Specific Plan provides a detailed planning document which outlines the future development of 865 acres of property located in or immediately adjacent to the City of San Jose. The project is bounded by Quimby Road to the north, Ruby Avenue to the west, Evergreen Creek to the south, and non-urban hillsides to the east.

The specific plan details the following elements:

A Village Center commercial area consisting of approximately 150,000 square feet of retail and service space.

Ongoing wine-making, wine-growing, warehousing and distribution, and visitor events and tours at the Mirassou Vineyards.

Residential development consisting of 2,996 dwelling units of varying types and densities:

- 299 units of High Density Residential
- 279 units of Townhomes
- 185 units of Duplex Units
- 318 units of Carriage Homes
- 425 units of 4000 Square Foot Lots
- 474 units of 5000 Square Foot Lots
- 692 units of 6000 Square Foot Lots
- 224 units of 7000 to 8000 Square Foot Lots
- 100 units of Hillside Lots

Community amenities consisting of:

- Village Center Rotary
- Fowler Creek Park Rotary
- Construction of two elementary schools.
- Supplemental funding for a new high school to be located within the Specific Plan area.
- Construction of Fowler Creek Park.
- Provision for a new fire station.
- Dedication of additional acreage to Montgomery Hill Park.
- The preservation of Quimby and Fowler Creeks.
- Creek corridor trails, pocket parks, and internal trail systems.

- Lake elements that also serve as storm water retention facilities.

Infrastructure improvements that include:

- The completion of Quimby Road.
- The construction of Aborn Road.
- The construction of Murillo Avenue.
- The completion of Yerba Buena Avenue.
- The internal circulation pattern for the project.
- The water distribution system, sanitary sewer system, and storm water drainage system necessary to serve the project.

The provision of funding to address the necessary off-site circulation improvements necessary to provide additional capacity to the area's circulation system to include:

- Improvements to Aborn Road.
- Improvements to Quimby Road.
- Improvements to Capitol Expressway.
- Improvements to the U.S. 101/Capitol Expressway on-ramps.

A financing program to fund the provisions established within the specific plan.

## **COMPANION DOCUMENTS TO THE EVERGREEN SPECIFIC PLAN**

- A. Revisions to the Evergreen Development Policy.
- B. The Evergreen Financing Plan.
- C. The Evergreen Planned Residential Community Planned Development Zoning.
- D. The Evergreen Specific Plan Environmental Impact Report.

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## Introduction



## Chapter 2 - Introduction

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**T**he Evergreen Specific Plan represents a new direction addressing land use and development within the City of San Jose by creating a unique partnership between the property owners within the project area, appointed and elected representatives of the City of San Jose, community members, area residents, and the various departments of the City of San Jose.

### BACKGROUND

In November of 1989, the San Jose City Council adopted an amendment to the City's General Plan which designated 865 acres in the Evergreen area as the "Evergreen Planned Residential Community" (EPRC). With this recommendation came the requirement that a specific plan be prepared and adopted prior to the approval of any development in the area (Exhibit 1). The primary purpose of the specific plan is to create an innovative residential community containing a variety of residential densities and housing types as well as supporting uses, services, and amenities. On July 2, 1991 the City Council adopted this specific plan and also amended the Evergreen Planned Residential Community to incorporate the essential elements of this specific plan into the General Plan. The General Plan, therefore provides the City's policy for the implementation of the Evergreen Specific Plan.

### ELEMENTS OF THE EVERGREEN PLANNED RESIDENTIAL COMMUNITY

As mandated by the San Jose City Council, the Evergreen Planned Residential Community will include the development of the following related elements:

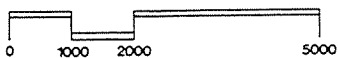
#### **The Specific Plan**

Typically, a specific plan is a medium-to-long range set of policies for land use and development in a defined project area. This document, and accompanying General Development Zoning, will serve as the bridge between the City of San Jose's *Horizon 2000 General Plan*, *Zoning Ordinance*, and individual development proposals. The Specific Plan has enabled the City of San Jose, in coordination with representatives of the Evergreen Specific Plan Task Force and property owners, to make decisions regarding land uses, circulation, public services and utilities, special design standards, and the phasing of development as part of a comprehensive plan rather than attempting these decisions on a parcel-by-parcel basis.

#### **Planned Development Zoning District**

The *General Development Plan* establishes the zoning regulations for the Specific Plan area. In San Jose, Planned Development Zoning Districts typically include a great deal of design, mitigation, and other related detail items. Some of this required detail is





## VICINITY MAP

CITY OF SAN JOSE

EVERGREEN SPECIFIC PLAN

EXHIBIT

incorporated by reference from the Specific Plan, the *Evergreen Development Policy*, environmental impact report, and financial plan into the *General Development Plan*. Development of the project area may proceed in the review process by applying for Planned Development permits consistent with the zoning district.

### **Evergreen Development Policy**

Development within the Evergreen area has been constricted by a traffic circulation system that has been unable to expand to meet additional traffic demands made by incremental development in the area. In an effort to address this capacity problem the City of San Jose adopted the "*Evergreen Development Policy*" in 1976. This limits additional growth in the area so that the area's traffic circulation system remains at an acceptable level of service. Development in Evergreen has been allowed "in an incremental, controlled process so that adequate transportation facilities exist to maintain level of service "D" throughout the study area." (*Evergreen Development Policy*, August, 1976).

In addition to the traffic policy, the *Evergreen Development Policy* also addressed the issue of flood protection within the Evergreen area. Due to the nature of the flooding problems and the available solutions to the problems, the flood protection policies have not been the restricting factor to development within Evergreen. Development within the Evergreen Planned Residential Community is contingent upon the identification and delivery of adequate traffic capacity.

The transportation component of the Evergreen Specific Plan has examined the existing and future conditions within Evergreen and has identified the means to create sufficient traffic capacity to serve not only the Evergreen Specific Plan area but also the cumulative buildout of other vacant parcels within the original *Evergreen Development Policy* boundaries.

### **Environmental Impact Report**

An environmental impact report (EIR) has been prepared as an accompanying document to evaluate the potential impacts likely to be created by adoption of the General Plan Amendment, Planned Development Zoning, and the revision to the *Evergreen Development Policy*. This specific plan contains an overview of the environmental conditions which affect the development of the project area.

## **DETAILED PROJECT DESCRIPTION**

The Evergreen Specific Plan is a comprehensive planning document prepared to address the development of 865± acres in, and adjacent to, the City of San Jose. The specific plan will consist of two distinct sections, which include:

I. A plan for the development of the project area which will include the following land uses:

A. Residential

Approximately 700 acres (or 80%) of the project area is designated for residential dwelling units. The specific plan provides a range of densities from two dwelling units per acre to 25 dwelling units per acre. The specific plan area will accommodate up to 2,996 units.

B. Commercial

A neighborhood commercial center will be located adjacent to the existing Mirassou Winery. The commercial area will include approximately 150,000 square feet of retail and service space. Preliminary uses include a major health club facility, a multi-screen movie theater, two restaurants, and approximately 5,000 square feet of general neighborhood retail space in connection with the existing Mirassou Winery's tasting room and winery facilities.

C. Public Uses

Two ten-acre elementary school sites have been designated within the planning area. The Evergreen School District is currently constructing a new middle school within the project site, which will be open for the 1991-1992 school year. In addition, the East Side Union High School District owns a 50-acre parcel within the project area. The District Board has recently determined that demographic data of the area indicates that a new high school is warranted at this location, but would be subject to the acquisition of funding necessary to construct the facility.

Development of a 12 $\pm$  acre city park is proposed as part of the Specific Plan. (The City of San Jose presently owns the Fowler Creek Park site, but construction of the park facilities has not yet been funded.)

Additional parkland will be dedicated to Montgomery Hill Park, and the Specific Plan area will fund 25% of a new fire station to be located within the project area. The Specific Plan will also develop a series of pocket parks, trails, and open space throughout the project for use by the community.

- II. The Evergreen Specific Plan also identifies strategies for implementing the plan. These include the PD zoning, land swaps, a financing plan, and a comprehensive mitigation program.

In connection with the implementing strategies, the *Evergreen Development Policy* has been revised to include analysis of the traffic and circulation impacts of the development of the project area and to identify the improvements to the circulation system necessary to create sufficient traffic capacity to serve buildout of the *Evergreen Development Policy*, including the Evergreen Specific Plan area.

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## Overview



## Chapter 3 - Overview

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### THE PURPOSE OF THE SPECIFIC PLAN

Specific plans are developed to provide a greater level of specificity in planning sites of special interest or value to a community. Typically, a specific plan contains:

Text and diagrams which call out the following in detail:

1. The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
2. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
3. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
4. A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs 1, 2, and 3.

The purpose of the Evergreen Specific Plan is to provide a comprehensive program for the development of the plan area's 865 acres. This will result in a unique and appealing new community which meshes with the existing community and provides the area with a variety of new amenities while providing the infrastructure improvements necessary to implement the development.

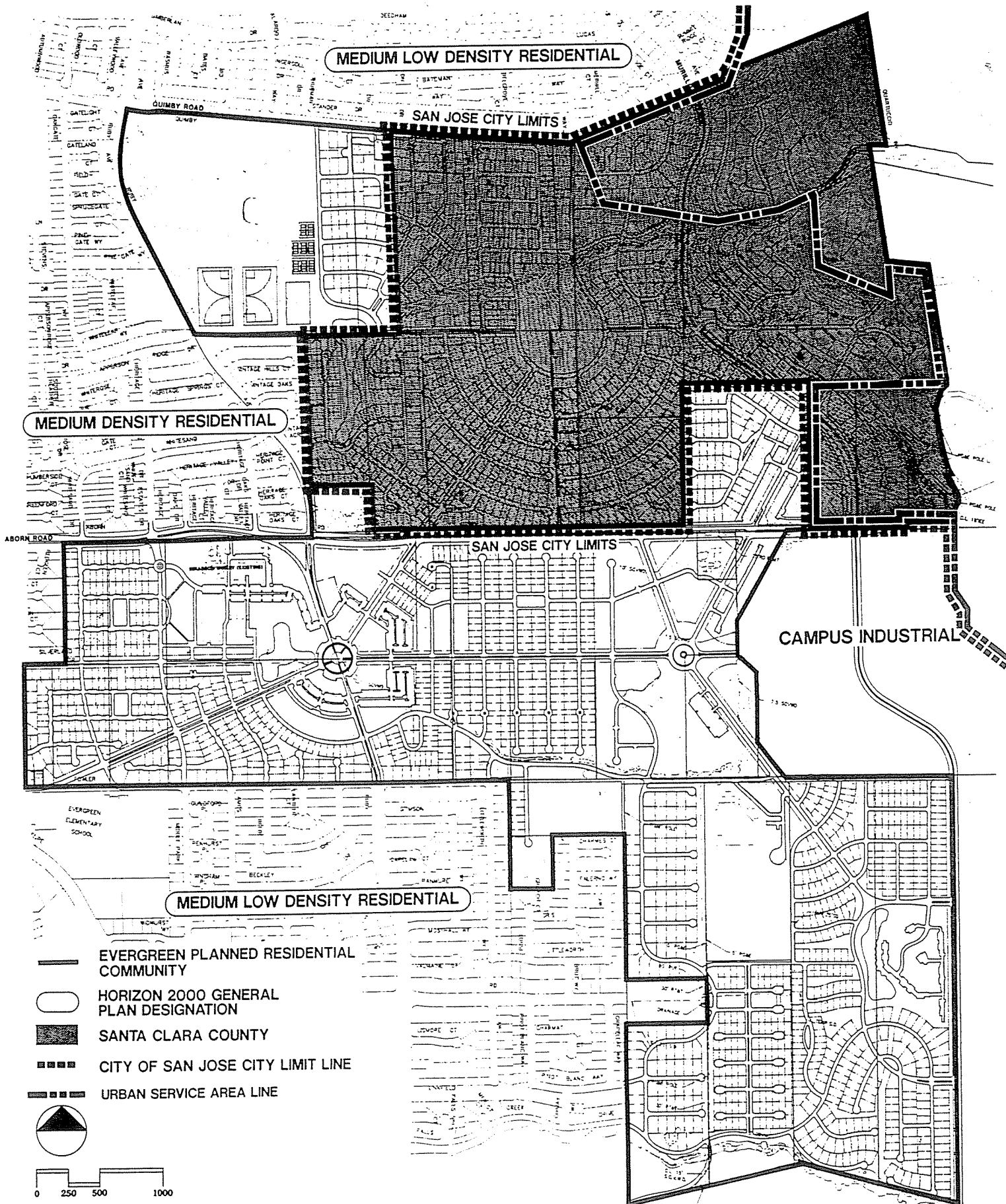
### GOALS, POLICIES, AND SPECIFIC PLAN RESPONSES

This Specific Plan will set forth the location, character, and intensity of land uses envisioned for the Evergreen Specific Plan area (Exhibit 2). The following goals and policies have been set forth by the City of San Jose's *Horizon 2000 General Plan* to enhance the quality for life of the people of San Jose. The Evergreen Specific Plan was conceived as a response to these goals and policies, and the following summary identifies the applicable goals and policies as well as the Specific Plan response.

#### 1. Urban Conservation

**Goal:** Improve the existing quality of life and create a stable, mature community.





## CITY LIMITS OF SAN JOSE

CITY OF SAN JOSE

EVERGREEN SPECIFIC PLAN

EXHIBIT

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**Policy:**

1. In the development review process and in designing service and capital facility programs, the City should strive to create an environment in which the highest value is placed on people.
2. The City should encourage new development which enhances the desirable qualities of the community and existing neighborhoods.

**Response:**

*A comprehensive analysis of the service and capital facility programs necessary to support the development of the Specific Plan area was prepared. The results of this analysis was incorporated into the project in an effort to go beyond the established standards of services set by the City. The Evergreen Specific Plan was designed in a manner that gives great prominence to community structures such as the Fowler Creek Park Community Center, the elementary schools, and its use of open space throughout the project.*

**2. Community Identity**

**Goal:** Enhance the sense of community identity in San Jose.

**Policy:**

1. The City should encourage the development of a more compact, cohesive pattern of urbanization with definite, identifiable boundaries that more readily create a sense of community identity.
2. The City should foster the participation of residents in local government decision-making and in the social, cultural, and recreational activities of the community.

**Response:**

*The General Plan amendment for the subject area approved by the City of San Jose in 1989 established a density which promotes a more compact urban community that, at the same time, is compatible with the existing communities which surrounded the project site. The Evergreen Specific Plan Task Force, made up of property owners, community members, and appointed and elected representatives of the City of San Jose, has been an important component of the design process and has presented its recommendations to the Planning Commission and City Council prior to adoption.*

### 3. Neighborhood Identity

**Goal:** Enhance the sense of neighborhood identity in San Jose.

**Policy:**

1. Neighborhood groups should have input to the decision-making process in City government.

**Response:**

*In addition to the Evergreen Specific Plan Task Force, two community meetings were held to present information gathered by the consultant team, the direction of the Task Force, and receive input from the community.*

**Policy:**

2. City services and facilities should be equitably distributed throughout the community to the extent feasible.
3. Public and private development should be designed to improve the character of existing neighborhoods. Factors that cause instability or create urban barriers should be discouraged or removed.
4. Neighborhoods should include places for interaction among residents such as parks, community centers, schools, commercial areas, churches, and other gathering points.

**Response:**

*The Evergreen Specific Plan has provided a variety of amenities designed to serve both the existing neighborhoods and the new project area. New amenities include two elementary schools, Fowler Creek Park, the Village Center, and open space areas. The Specific Plan, through its use of internal trail systems and landscaped boulevards, provides an "open" community which provides a means of circulation beyond the use of the automobile.*

### 4. Balanced Community

**Goal:** Develop a balanced and complete community in terms of land use distribution and densities, housing types and styles, economic development and job opportunities for social and cultural expression.

**Policy:**

1. The City should foster development patterns which will achieve a whole and complete community in San Jose, particularly with respect to a balance between jobs and economic development on the one hand, and housing resources and a resident work force on the other.
2. Varied residential densities, housing types, and styles should be equitably and appropriately distributed throughout the community and integrated with transportation systems.
3. Encouragement should be given to achieving a social, economic, and housing mix in all neighborhoods.
4. Business and industry should be encouraged to provide job opportunities for all members of the community's work force.

**Response:**

*The property immediately east of the project site is designated as "Campus Industrial" and will ultimately employ up to 12,000 people. In response to this future activity, the Specific Plan designated a variety of residential product types including townhomes, carriage units, and apartments to provide a mix of housing types to provide housing for these employees as well as the entire community as a whole.*

*In addition, the Village Center was developed in an effort to address a portion of the commercial demands that will be created by the Campus Industrial areas as well as the Evergreen residential community.*

## **COMMUNITY DEVELOPMENT**

### **1. Land Use**

#### **A. Residential Land Use**

There are a wide variety of residential neighborhoods in San Jose, each with its own character defined by setting, housing types, densities and, in some cases, cultural heritage. The environment and livability of existing residential neighborhoods are an intangible but important community resource to be preserved. Similarly, these qualities should be fostered in future neighborhoods. To this end, the *Residential Land Use* goals and policies reflect concerns for the protection of neighborhoods from incompatible land uses, the adequacy of public facilities and services, and protection from hazards.

The *Residential Land Use* policies also reflect the City's objective to promote higher density residential development in the future than was typical in the past. This objective recognizes that remaining vacant land resources are finite and should be used as efficiently as possible, that the relative affordability of housing is enhanced by higher densities given the rising price of land, and that higher densities make the delivery of public services more cost-effective. A high standard of site planning and architectural design quality can make higher density housing attractive to both the consumer and the neighborhood where it is located.

The *Residential Land Use* goals and policies are primarily guidelines for the physical development of residential neighborhoods and proximate land uses. The Housing goals and policies, on the other hand, address the maintenance, rehabilitation, improvement, and development of housing, particularly relating to affordability.

**Goal:** Provide a high quality living environment in residential neighborhoods.

**Policy:**

1. Residential development at urban densities should be located only where services and facilities can be provided.

**Response:**

*The development of the plan area will be served by the City of San Jose and all infrastructure necessary to serve the plan area will be funded through the Evergreen Financing Plan.*

**Policy:**

2. Residential neighborhoods should be protected from the encroachment of incompatible activities or land uses which may have a negative impact on the residential living environment. In particular, non-residential uses which generate significant amounts of traffic should be located only where they can take primary access from an arterial street.

**Response:**

*The future high school site is located at the intersection of Ruby Avenue and Quimby Road, which would provide adequate circulation to and from the school site. Churches are permitted as a secondary use in the single family residential areas of the project.*

**Policy:**

3. Higher residential densities should be distributed throughout the community. Locations near commercial and financial centers, employment centers, the light rail transit stations, and along the bus transit routes are preferable for higher density housing.
4. Due to the limited supply of land available for multiple family housing, public/quasi-public uses, such as schools and churches, should be discouraged in areas designated for residential densities exceeding twelve units per acre on the Land Use/Transportation Diagram except in the Downtown Core Area.

**Response:**

*The areas of higher residential densities have been distributed in three different locations near the Campus Industrial and Village Center areas. Public/quasi-public uses have been removed from the permitted and conditional permitted uses for the higher residential categories of the Specific Plan areas.*

**Policy:**

5. Residential development should be allowed in areas with identified hazards to human habitation only if these hazards are adequately mitigated.

**Response:**

*An environmental impact report has been prepared for the Evergreen Specific Plan, General Plan Amendments, Planned Development Zoning, and identifies any potential environmental hazards or impacts and outlines mitigation measures for the implementation of the project.*

**Policy:**

11. Residential developments should be designed to include adequate open spaces in either private yards or common areas to partially provide for resident's open space and recreation needs.

**Response:**

*The Evergreen Specific Plan provides yards, pocket parks, trail systems, and landscaped boulevards, providing a variety of open space areas for both active and passive recreational needs.*

**Policy:**

13. In the design of lower density single family residential developments, particularly those located in the Rural Residential, Estate Residential, and Low Density Residential categories, consideration should be given to the utilization of public improvement standards which promote a rural environment, including such techniques as reduced street right-of-way widths, no sidewalks, and private street lighting.

**Response:**

*The area of the Specific Plan designated as "Hillside" lots is encouraged to promote a rural environment through the reduction of public improvement standards while still maintaining adequate public safety.*

**Policy:**

15. Residential development should be designed with limited access to arterial streets as follows:
  - No direct frontage access on six-lane arterials or within 350 feet of the intersection of two arterials.
  - Direct frontage roads, corner lots, open-end cul-de-sacs or other street design solutions for access are encouraged.

**Response:**

*The circulation system of the Specific Plan meets these or exceeds these standards as listed above.*

**Policy:**

16. Bed and breakfast inns may be located on properties designated for residential land use, regardless of density, provided that parking and other possible impacts on the surrounding neighborhood can be satisfactorily mitigated.

**Response:**

*Bed and breakfast inns are permitted within the Village Center, and would be subject to review and approval by the City of San Jose to ensure compliance with established City policies.*

## B. Commercial Land Use

The commercial land use policies reflect the need to locate new commercial uses in the community which facilitate convenient shopping and easy access to professional services and which contribute to the economic base of the City. Redevelopment of existing commercial strips and areas, and the conversion of existing structures to more appropriate uses should result in the upgrading of these areas.

**Goal:** Provide a pattern of commercial development which best serves community needs through maximum efficiency and accessibility.

**Policy:**

1. Commercial land in San Jose should be distributed in a manner that maximizes community accessibility to a variety of retail commercial outlets and services and minimizes the need for automobile travel.
2. New commercial uses should be located in existing or new shopping centers or in established strip commercial areas. Isolated spot commercial developments and the creation of new strip commercial areas should be discouraged.
5. Commercial development should be discouraged from locating or expanding within established residential neighborhoods when such development will have a negative impact on the character and livability of the surrounding residential community.

**Response:**

*The Evergreen Village Center surrounds the primary rotary hub of the circulation system providing maximum accessibility from both the existing and new neighborhoods. The Village Center is close enough to the existing neighborhoods to allow foot traffic, but buffered by Aborn and Fowler Roads to limit any through traffic into the existing neighborhoods.*



### 3. Urban Service Area

The City first adopted a set of *Urban Development Policies* in 1970 to direct development to those areas where services and facilities could be provided. Because these policies deal with the timing and staging of development and are so closely related to other General Plan growth management policies, they were incorporated into the Plan in 1976. The *Urban Service Area* goals and policies address services provided by the City as well as those provided by other public agencies, such as flood control, public schools, and regional transportation.

The Urban Service Area policies are applicable to the entire development review process, including the annexation of territory to the City. As such, the implementation of these policies should be coordinated with the Local Agency Formation Commission (LAFCO).

**Goal:** Insure that San Jose's future growth will proceed in an orderly, planned manner in order to provide efficient and economical public services, to maximize the utilization of existing and proposed public facilities, and to achieve the equitable sharing of the cost of such services and facilities.

**Policy:**

1. The General Plan designates an Urban Service Area where services and facilities provided by the City and other public agencies are generally available, and where urban development requiring such services should be located.
2. The Urban Service Area should be expanded only when it can be demonstrated that existing facilities and services are available and adequate to serve the proposed expansion area. If existing facilities are not adequate, alternate consideration may be given to proposed facilities in the adopted Capital Improvement Program or similar programs of other public agencies. If existing and/or proposed facilities are not adequate to serve the proposed expansion area, the Urban Service Area may be expanded if it can be demonstrated that all necessary facilities will be provided by the developer(s).
6. It is City, County, and LAFCO policy that existing and future urban development should be located within cities. This policy should be implemented through the City's existing agreement with the County which requires that incorporated properties within the Urban Service Area either annex to the City, if possible, or execute a deferred annexation agreement prior to approval of development. The City should also encourage the County and LAFCO to join in cooperative efforts to seek the annexation of urbanized County pockets within the Urban Service Area.

7. Since the provision of sanitary sewers is an urban service, and development served by sanitary sewers is thereby urban, the expansion of sanitary sewer districts is discouraged for areas planned in non-urban uses outside the Urban Service Area.

**Response:**

*The Urban Service Area will be expanded to include all of the Evergreen Specific Plan based on infrastructure studies which have determined that all necessary facilities will be provided by the plan area. Areas within the boundaries of the Evergreen Specific Plan that are not presently within the City limits of San Jose will require annexation prior to development.*

#### **4. Urban Design**

The design of the community affects the quality of life, the character of neighborhoods, and the livability of the city. Members from all segments of the community are involved in the decision-making of the development review process which determines design. The multitude of decisions involved result in the final form and character of the city environment. The public's interest in fostering the highest quality of life is expressed through policies on urban design standards in order to incorporate aesthetic considerations in the development review process.

**Goal:** Require the highest standards of architectural and site design for all development projects, both public and private.

**Policy:**

1. The City should continue to apply strong architectural and site design controls, on all types of development for the protection and development of neighborhood character, and for the proper transition between areas with different types of land uses.
2. Zoning regulation should require, wherever appropriate, that private development include adequate landscaped open space and provisions for ongoing landscape maintenance.

**Response:**

*The Evergreen Specific Plan has provisions which identify distinct architectural character, specific site design layouts for the entire plan area and open space amenities to strengthen the individual character of each of the distinct residential product types as well as the Village Center commercial area. An integrated financing district is planned to provide landscape maintenance to a standard above and*

*beyond the typical city standards along public streets as well as in the pocket parks and trail systems.*

**Policy:**

3. Residential subdivisions should be designed to provide for internal circulation within neighborhoods and to prevent through traffic from traversing neighborhoods.
4. Residential developments which are adjacent to parks or open spaces should be encouraged to provide direct access to, and common open space contiguous to, such areas.

The Specific Plan has a variety of trail systems throughout the plan area which provide pedestrian and bicycle access to the elementary schools, Fowler Creek Park, and other open space features such as Montgomery Hill Park.

**Policy:**

5. The design review process should take into consideration the long term maintenance ramifications of the design of private streets and other private infrastructure improvements.

**Response:**

*Policy noted and may be incorporated into a Lighting and Landscaping District or similar mechanism to provide long-term maintenance of the project's amenities.*

6. Proposed structures adjacent to existing residential areas should be architecturally designed and sited to protect the privacy of the existing residences.

**Response:**

*The project has established specific criteria for the areas of the project which abut existing residential neighborhoods in order to integrate with these areas.*

**Policy:**

7. The City should require the undergrounding of distribution utility lines serving new development sites as well as proposed redevelopment sites. The City should also encourage programs for undergrounding existing overhead distribution lines. Overhead lines providing electrical power to light rail transit vehicles and high tension electrical transmission lines are exempt from this policy.

**Response:**

*Policy noted.*

**Policy:**

8. Design solutions should be considered in the development review process which address security, aesthetics, and public safety.

**Response:**

*The Evergreen Specific Plan has been reviewed by the Evergreen Technical Advisory Committee, which is made up of various City departments, which addressed the issues of security, aesthetics, and safety.*

**Policy:**

12. In order to preserve and enhance the scenic and aesthetic qualities of the natural terrain, development on slopes exceeding 7% should conform to the following guidelines:

- Planned Development zoning is preferable for its flexible design techniques such as clustering, variable lot sizes, and varying setbacks in order to maximize residential densities.
- Construction techniques and housing types adaptable to a variable terrain, such as cluster housing, split pads, and stepped foundations, should be utilized where appropriate. Conventional, single flat pad lots should ordinarily be discouraged.
- Consideration should be given to the siting of homes for privacy, livability, solar, and wind conditions. Siting should take advantage of scenic views but should not create significant visual impacts affecting public places and other properties.
- The preservation of existing trees, rock outcroppings, and other significant features should be encouraged.
- When grading or recontouring of the terrain is proposed, it should be done in such a way as to preserve the natural character of the hills, whenever possible.
- Because street construction on slopes often requires a disruptive amount of grading, modified street sections designed for both utility and minimum grading should be encouraged.

- Development should be discouraged on slopes exceeding 30% and on ridgelines.

**Response:**

*The majority of the Evergreen Specific Plan lies on terrain below slopes exceeding 7%. In an effort to preserve as many existing trees as possible, the project's grading and site design has been developed so that existing terrain, existing significant trees, and significant features such as Fowler and Quimby Creeks, have been respected.*

**Policy:**

13. At the edge of the valley floor, development should incorporate loop streets and cul-de-sacs rather than streets stubbed into lands planned for non-urban use in order to minimize development pressures on such non-urban areas.
14. New urban development should be designed to minimize impacts in areas with an established and permanent rural or semi-rural character, often typified by large-lot "ranchette" development.

**Response:**

*In the areas of the plan which approach the non-urban hillside, cul-de-sac, and loop streets have been proposed in an effort to minimize impacts on the hillsides and to establish a semi-rural character in the hillside lot areas.*

**Policy:**

15. In order to realize the goal of providing street trees along all residential streets, the City should:
  - Prepare and update, as necessary, a master plan for street trees which identifies approved varieties.
  - Require the planting and maintenance of street trees as a condition of development.
  - Prepare a program for management and conservation of street trees which catalogs street tree stock replacement and rejuvenation needs and identifies alternative means by which these needs can be satisfied. This program should be reviewed periodically as part of the Capital Improvement Program process.

**Response:**

*Street trees will be provided in accordance with City of San Jose standards and maintained through a Lighting and Landscaping District.*

**Policy:**

16. When development is proposed adjacent to existing or planned parks or park chains, that development should include public park frontage roads, wherever feasible, in order to maximize access to park lands, to provide a reasonable separation between urban land uses and park lands without the use of "back up" design, and to maximize exposure of park lands for scenic and security purposes.

**Response:**

*All pocket parks and Fowler Creek Park include roads which maximize the visibility of the open space features as well as provide maximum access to the parks.*

**Policy:**

17. Development adjacent to creekside areas should incorporate compatible design and landscaping.

**Response:**

*Creek areas will be maintained in as natural a state as possible and new creek areas that will be created will be landscaped to be compatible with some level of recreational use.*

**Policy:**

18. To the extent feasible, sound attenuation for development along City streets should be accomplished through the use of landscaping, setback, and building design rather than the use of sound attenuation walls. Where sound attenuation walls are deemed necessary, landscaping and an aesthetically pleasing design shall be used to minimize visual impact.

**Response:**

*Policy noted and incorporated into the noise section of the environmental impact report of the Specific Plan.*

**Policy:**

20. As resources are available, the City should assign priority to the implementation of programs for the installation and maintenance of landscaping in median islands and back-up strips along major thoroughfares.

**Response:**

*The Evergreen Specific Plan has incorporated median landscaping along the portion of Aborn Road and Murillo/Yerba Buena Avenue. As discussed previously, an integrated financing district will address the maintenance of these features.*

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## Environmental Setting





## Chapter 4 - Environmental Setting

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This section summarizes environmental conditions within the project site. The environmental characteristics of the site help to define the parameters for the specific plan area. An accompanying environmental impact report (EIR), prepared to meet the requirements of the *California Environmental Quality Act* (CEQA), adopted Guidelines thereto, and Title 21 of the *San Jose Municipal Code* evaluates the environmental effects of the development outlined within this specific plan. The information provided within this section and the "Site Constraints Exhibit" (Exhibit 3) is to serve as an overview of the environmental constraints within the context of this specific plan.

### SITE CHARACTERISTICS

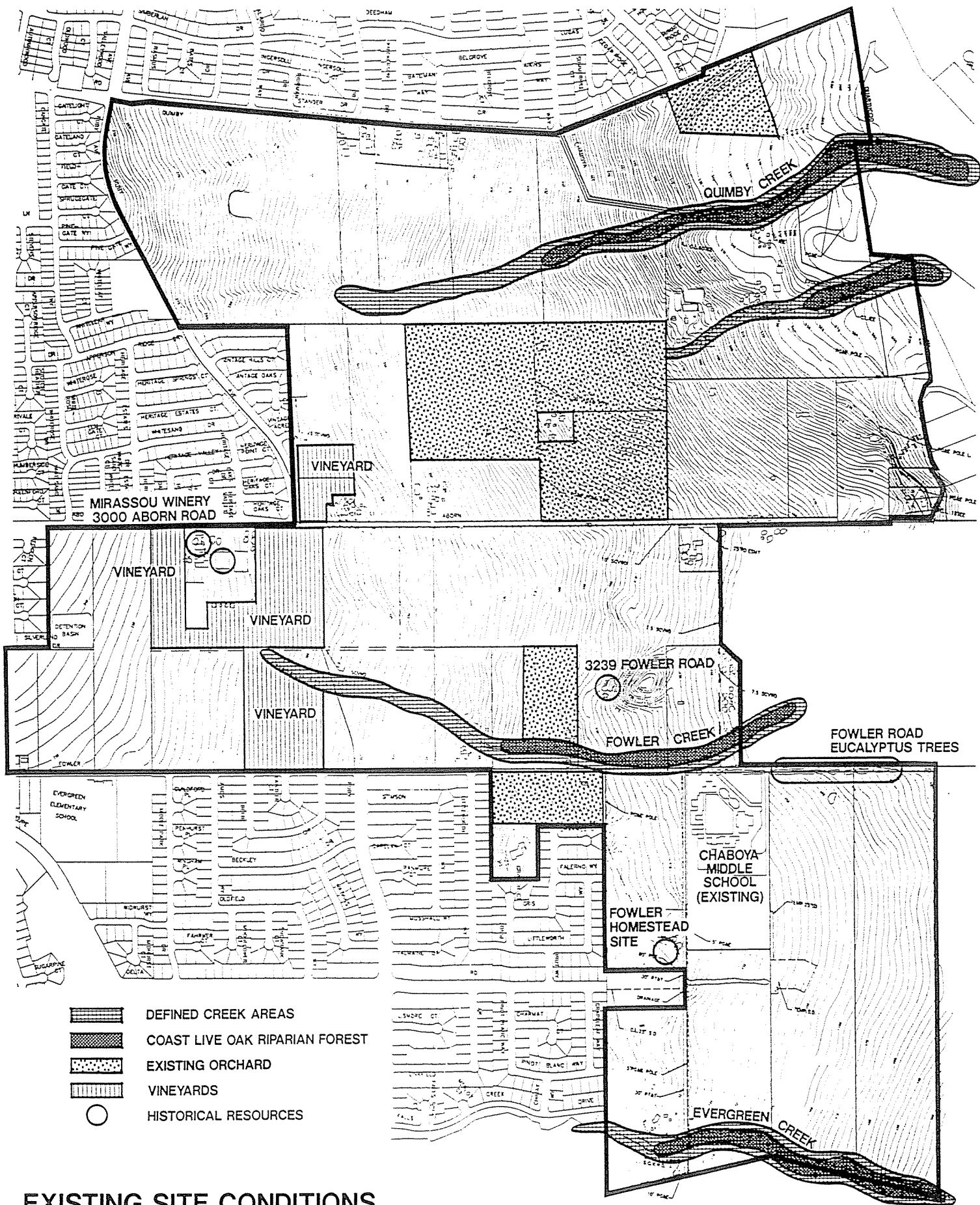
#### Existing Land Uses

The existing land uses within the Evergreen Specific Plan Area reflect the historic land uses of the Evergreen area since the late 1800's. The project area is characterized by agricultural uses such as hay production, stock grazing, grain cultivation, orchards, and the Mirassou Winery, all of which are traditional uses within the area.

#### Historic Resources

Twenty residential structures dot the project area, most of which are found along Quimby, Aborn, and Fowler Roads. Six of these structures were initially identified as potential historical structures and were evaluated by archival research, field survey, and subsurface testing. This research identified four areas which qualify as historical resources and will require environmental mitigation measures within the EIR. These structures are:

- A. The Mirassou Winery (3000 Aborn Road). Based on the long history of the Mirassou family's involvement in the winemaking business in Evergreen, and the integrity of the existing winery complex, the Mirassou Winery qualifies as a "Candidate City Landmark". The EIR recommends that the original residence (known as the "Heritage House"), the original winery buildings, and a portion of the vineyards be retained and the existing winery equipment be photographically documented prior to removal.
- B. 3239 Fowler Road. The residence on this site dates, at least, back to the 1876 ownership of James Lendrum; and may date back as far as 1866. Based on the criteria used by the historical resources consultant, this structure rates as a "Structure of Merit". The significance of the structure rests with its age and the example it provides of a modest rural farmhouse from the 1870's. Few good examples of this type of vernacular architecture from this early period



## EXISTING SITE CONDITIONS

CITY OF SAN JOSE  
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survive in the Santa Clara Valley today. The EIR recommends that project plans be evaluated to determine if the existing structure can be retained and integrated into the reconfigured Fowler Creek Park. If preservation is not possible, detailed documentation should be prepared by the Historic Landmarks Commission, and useful architectural elements from the building should be salvaged and stored for eventual reuse in the restoration of buildings of similar style and vintage. In addition, a detailed monitoring plan should be developed by a qualified historical archaeologist with the developer and approved by the City of San Jose prior to removal of the structure. All earthmoving activities within fifty meters of the house be monitored by a qualified historical archaeologist.

- C. Fowler Homestead Site (3262 Fowler Road). This parcel was originally part of the 192 acre parcel acquired by Andrew Jackson Fowler in the early 1870's. Historic maps indicate that the location of the original A. J. Fowler homestead was located on this parcel near the dense growth of eucalyptus trees, poison oak, and other vegetation south of Fowler Road. A survey of this area revealed remnants of a frame tower, possibly for a water tank in this area. Since the possibility of post-1870 subsurface archaeological features are likely to exist on this parcel, it is recommended that a detailed monitoring plan be developed by a qualified historical archaeologist and the developer, approved by the City of San Jose prior to any construction within the area, and all earthmoving construction activities be monitored by a qualified historical archaeologist.
- D. Fowler Road Eucalyptus Trees. These trees, presently seen flanking the north and south sides of Fowler Road from Chaboya Middle School to the City's water reservoir at the end of Fowler Road, were planted by A.J. Fowler during the latter half of the 19th century. The present development plan calls for the rerouting of Fowler Road from Littleworth Way, and allows for the preservation of the eucalyptus trees. However, the extreme age of the trees, the very thing that gives them historical value, also indicates that the trees may be coming to the end of their life-span. The environmental impact report's arborist has examined these trees and indicated which of the trees are worth preserving, the safety considerations of placing residential structures in and around mature eucalyptus trees should be balanced against the historical value of the trees and their life-span.

### **Geology and Soils**

The soils of the site are moderately expansive, have good strength characteristics, and there are no liquefiable soils present.

## **Seismic Effects**

A total of ten trenches were excavated across previously mapped positions of the Evergreen, East Evergreen, Pappani, and Quimby faults. These trenches, as well as geophysical surveys and magnetometer surveys, found no evidence of active faults and no fault-related building setbacks will be recommended. Additional site-specific studies will be required on a parcel-by-parcel basis as identified in the EIR.

## **Vegetation and Wildlife**

Five different vegetation types have been identified within the specific plan project area. The following categories are discussed within the EIR:

- 1) Non-native grasslands established primarily for hay production.
- 2) Orchards and vineyards.
- 3) Diablan sage scrub found generally along the steeper hillside areas of the project.
- 4) Coast live oak riparian forest found generally within Quimby, Fowler, and Evergreen Creeks.
- 5) Exotic and non-native vegetation associated with the existing residential dwellings throughout the project site.

A detailed tree survey was undertaken to evaluate all nonriparian trees 12 inches (12") and greater in diameter within the Specific Plan area. There are a total of 495 trees within this category. The most significant trees in the project area are the eighty (80) Coast Live and Valley oak trees. (This total does not reflect the many oak trees within the riparian creek corridors, which were evaluated in a different manner.) The design of the specific plan was conducted in such a manner to specifically avoid impacting significant trees as identified by the project arborist.

The riparian habitat areas which lie around Quimby, Fowler, and Evergreen Creeks constitute the greatest area of concentrated vegetation and wildlife in the project area. Wildlife traditionally uses the creeks as corridors to move to and from the hillside areas into the lower elevations. Vegetation also is concentrated in these corridors due to the relatively higher amounts of water which flow out of the hills during the winter rains. The specific plan has been developed in a manner as to minimize the disturbance in and around the three creek corridors so that the creeks and associated vegetation and wildlife will remain undisturbed. In areas where creek crossings are proposed, detailed transects have been prepared to provide a detailed survey of the creek vegetation.

No rare, endangered, threatened vegetation, or wildlife species were found within the specific plan area, although some properties within the plan area will require additional testing prior to development.

## **Waterways and Flooding**

Areas adjacent to Quimby and Fowler Creeks are subject to flooding, as are some areas downstream of the project site along Lower Silver Creek. The proposed plan would result in a small percentage increase in peak discharge and volume of stormwater run-off and 10 acre-feet of on-site storm water retention will mitigate the project-related increase in run-off.

Development in and around the existing creeks can create the potential for conflicting recommendations in order to maintain the natural settings of the creeks versus the need to address the storm water run-off. The creeks in the Evergreen area have traditionally left the creek banks and caused flooding problems for many years. The challenge is to determine how to deal with the storm water run-off during peak flows without widening the creek banks, which would remove the existing riparian and vegetation habitat.

The specific plan proposes a system of underground stormwater pipes to carry both off-site and on-site stormwater run-off through the specific plan area to existing pipe inlets at the project's western boundaries. The year-round water features on Quimby and Fowler Creeks will be designed to accommodate the additional stormwater retention during peak flow periods, while serving as project amenities by maintaining a lake appearance throughout the year. The natural stream channels of Quimby, Fowler, and Evergreen Creeks are proposed to remain and be enhanced to carry storm run-off, and debris basins at the head of each stream will divert peak flows into the underground pipe systems to preserve the natural conditions of the existing creeks.

## **Archaeology**

A review of existing maps and records on file at the Archaeological Regional Research Center revealed no previously recorded prehistoric archaeological sites within the project area. A field inspection of the project site was conducted and no new archaeological sites were discovered; however occasional isolated aboriginal artifacts were observed.

Given the potential for subsurface material in and around the creek corridors, further mechanical testing is recommended within one hundred feet (100') of the centerline along the natural drainage courses of Quimby, Fowler, and Evergreen Creeks. No further testing within the project area will be required.

## **Hazardous Materials**

A reconnaissance of the specific plan area was conducted in an effort to identify the potential for hazardous materials. In addition, regulatory agency records have been reviewed and site history research has been conducted.

Although no hazardous materials were specifically observed or identified, the project area does contain four underground storage tanks. Two of these tanks are on the Mirassou Winery and are permitted and monitored. Two other tanks have reportedly not been used for several years and do not have permits. A total of nine above-ground fuel storage tanks have been observed. Slight soil staining has been noted under the tanks, but the potential for soil contamination resulting from leaking or spillage during dispensing or filling is probably small. Specific mitigation measures involving these tanks will be addressed within the environmental impact report and will involve additional on-site testing prior to development.

The historical use of the project area for various agricultural uses infers the use of agricultural chemicals. Most of the pesticides in use today, if uniformly applied in accordance with the manufacturer's specifications do not present the potential for hazardous waste. However, concentrated pesticides resulting from leakage or spillage in chemical storage areas can result in substantial soil contamination. In addition, soils containing residual concentrations of DDT or its derivatives greater than 1.0 parts per million are considered hazardous waste under State of California regulations. Although DDT has been banned from use since the 1970's, it was widely used for pest control in orchards, which once covered a great deal of the project site. Individual on-site soils testing for these materials will be required on a site-by-site basis prior to development.

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## The Plan





## Chapter 5 - The Plan

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**T**he Evergreen Specific Plan is a marriage between the practical effort to address the constricted circulation system in the Evergreen area and the aesthetics of designing a distinctive community. The challenge in the urban design process is to create a project that merges the practical and the aesthetic into a cohesive package. It is hoped that the Evergreen Specific Plan will serve as more than just new subdivisions among old, but as the foundation of a new community.

### **Varied Amenities**

Major parks and playfields, schools, a community center, lakes, hillside and riparian open spaces, extensive streetside and focal landscaping, pocket parks, and tot lots are distributed throughout the plan area. These amenities provide neighborhood focus and differentiation while fulfilling specific area needs.

### **Prominent Location for Public Buildings**

The northern elementary school, community center, fire station, bandstand, and village center plaza park are all given sites of key prominence.

### **A Traditional Community-Serving Village Center**

The Village Center surrounds the primary radial hub of the circulation system. It is open and visible from Aborn Road and adjacent to the existing Mirassou Winery visitors center.

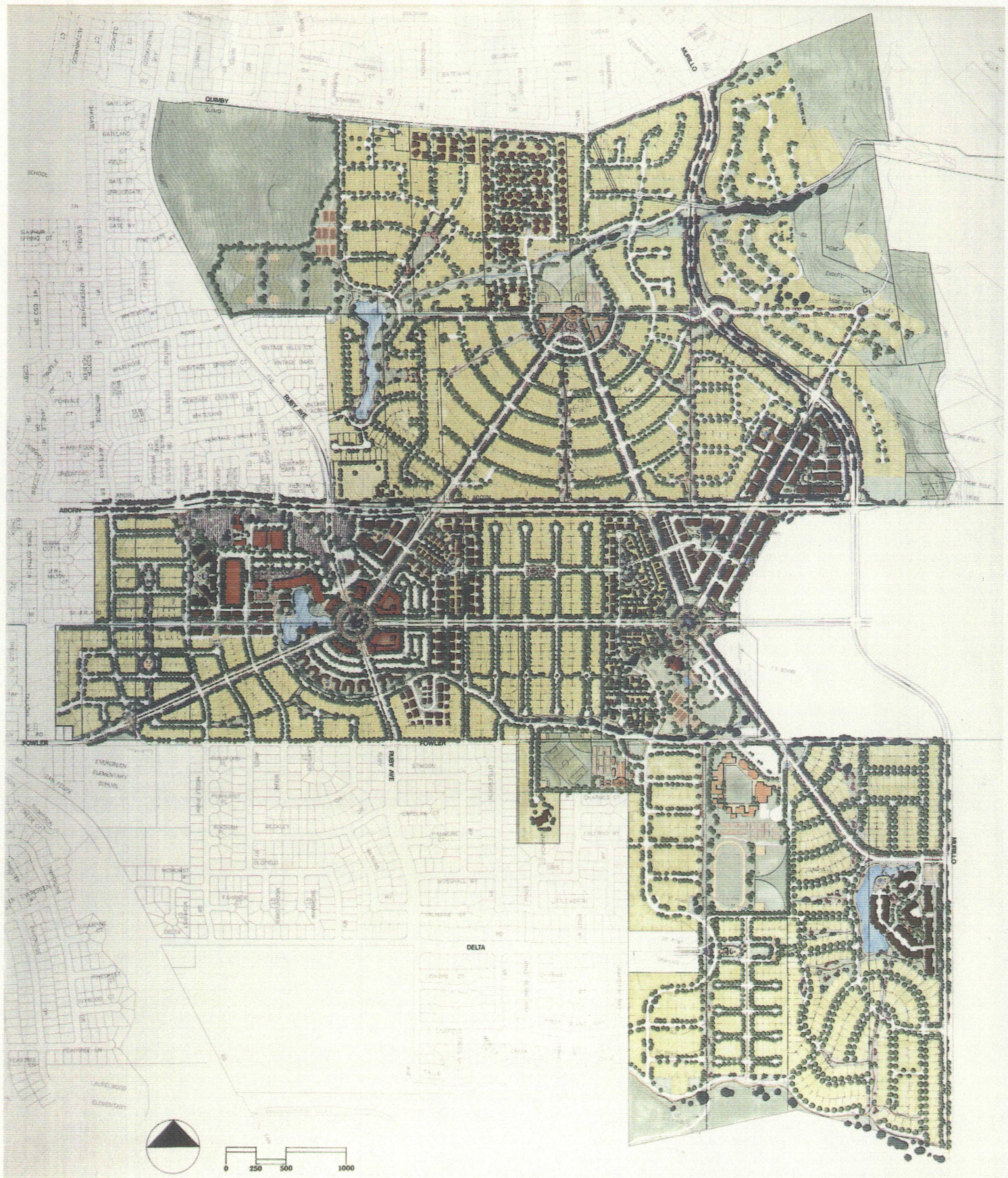
### **A Finely Grained Mix of Residential Densities**

The street patterns, amenities, and open space define more than thirty individual residential neighborhoods ranging in size from just over thirty units to approximately 180 units. These relatively small "product runs" provide a fine mix of housing types, and densities. From multi-family apartments at 12 - 25 units per acre through townhomes, carriage homes, small lot single family, to custom hillside estate lots, the Evergreen Specific Plan offers a wide range of residential opportunities.

### **Circulation**

More than just circulation; streets, walkways, and trails can provide organization, form, vistas, and focus. The Evergreen Specific Plan protects residents from major through-traffic corridors with ample setbacks, sound walls, and landscape buffers while at the same time embracing inter-community street patterns of radial streets and focal rotary hubs. These rotaries and radials provide dramatic axial vistas to important civic structures, organize and link individual neighborhoods, and, in conjunction with trails and creek corridors, tie together major community amenities.





**ILLUSTRATIVE SITE PLAN**  
**CITY OF SAN JOSE**  
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## **ELEMENTS OF THE LAND USE PLAN**

A successful community is more than a collection of homes, it recognizes the various elements that are needed and desired by its residents. A community requires a balance between the provision of housing, employment, entertainment opportunities, public parks and recreational services, and services such as markets, shops and restaurants. As discussed in the previous chapters, the Evergreen Specific Plan includes a variety of existing land uses, required plan elements such as schools and parks, a commercial area, and a comprehensive infrastructure system for the Specific Plan area.

### **Existing Land Use Conditions**

To the north, west, and south of the project area lie a variety of existing residential subdivisions. To the east lie areas of non-urban hillsides and property slated for development as campus industrial facilities. In establishing residential densities throughout the project site, it is important to recognize these existing land uses and how they determine the future interaction between the present and future land uses in designating adjoining land uses and densities.

The most notable existing land use within the specific plan area is the Mirassou Winery and adjoining vineyards. This facility is located on the south side of Aborn Road and is arguably the most visible landmark within the entire plan area. Along Fowler Road lies the Chaboya Middle School, which is expected to open in the fall of 1991. On the north side of Fowler Road, and near the new middle school, is the Fowler Creek Park site. Although the City of San Jose owns the park property and has an approved master plan for the site, there are no current plans for the City to construct the park.

### **Required Elements Within the Specific Plan**

In addition to the existing land uses discussed above, it is necessary to incorporate new uses into the plan. Based on the expected population of the Evergreen Specific Plan area, two new elementary schools are necessary to serve the future children of the community. The East Side Union High School District has expressed an interest in developing a high school on fifty acres of property the District owns at the intersection of Quimby Road and Ruby Avenue. (The specific plan area's future population will not, by itself, generate enough students to require a new high school, but will incrementally contribute to an area-wide need.)

In addition, the Specific Plan includes the provision for a new fire station, the development of Fowler Creek Park, the dedication of land to the Montgomery Hill Park, creek trail corridors, pocket parks, trail systems, and a commercial village.

The City of San Jose has established several housing goals and policies in the *Horizon 2000 General Plan* that relate to the development of a variety of housing types and densities. By providing a variety of housing styles, types, and densities, the

Evergreen Specific Plan can provide housing for a variety of future residents. The provision of this housing diversity is expected to be instrumental in the successful development of the adjacent campus industrial property and to give future residents an opportunity to live and work in the same area.

## **LAND USE PLAN**

The Land Use Plan, as shown in Exhibit 5, is a schematic representation of the Evergreen Specific Plan. The plan consists of eleven separate land use categories. Of the eleven, nine of the categories are stratifications of residential densities.

### **Residential**

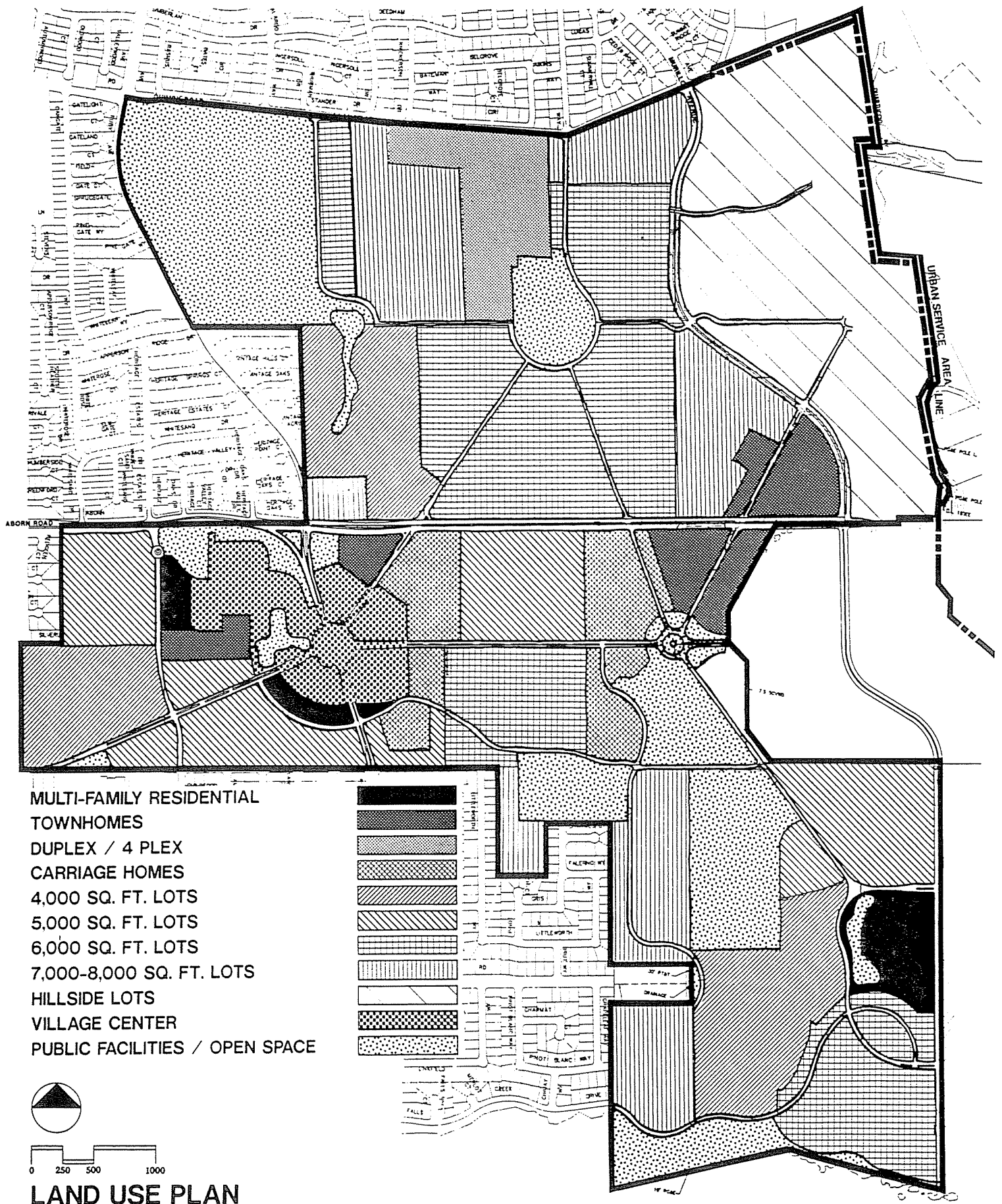
The Evergreen Specific Plan proposes a variety of residential densities to provide the housing types previously discussed above. The higher residential densities (multi-family apartments, townhomes, and carriage homes) are located adjacent to the western campus industrial area and the central Village Center commercial area. Single family residential areas are located adjacent to the existing single family neighborhoods. Where small lot single family areas occur next to existing 6000 and 8000 square foot lots, similar sized lots are required along the adjoining edge. In the area east of Murillo Avenue, larger hillside lots are proposed up to the 15% slope non-urban hillside boundary. (Chapter Eight "Private Development" provides an in-depth discussion on the concepts for each residential density as well as providing development criteria.)

### **Commercial**

The Evergreen Specific Plan includes a commercial village center adjacent to the existing Mirassou Winery and visitor's center. The Village Center surrounds the primary radial hub of the circulation system. It is open and visible from Aborn Road. (Chapter Eight "Private Development" provides an in-depth discussion on the Village Center as well as providing development criteria.)

### **Public Facilities/Open Space**

The Evergreen Specific Plan designates two new elementary school sites within the plan area, as well as reconfiguring the boundaries of the Fowler Creek Park to take advantage of the circulation pattern of the plan. In addition, the land use plan also specifies the future high school site at the corner of Ruby Avenue and Quimby Road as well as the existing Chaboya Middle School along Fowler Road. The land use plan also identifies land proposed to be dedicated to Montgomery Hill Park in the southeast corner of the project, south of Evergreen Creek. (Chapter Seven "Major Parks and Recreational Amenities" provides an in-depth discussion on the community amenities contained within the Evergreen Specific Plan as well as providing development criteria.)



## **CIRCULATION PLAN**

The Circulation Plan found on Exhibit 6 is a schematic representation of the various circulation elements of the Evergreen Specific Plan. The plan area implements a hierarchy of five types of streets.

### **Major Arterial (Aborn Road)**

A major arterial accommodates the majority of movement of through-traffic and is designed to have few connecting streets. Aborn Road, the only major arterial within the project area, serves to move traffic to and from Capitol Expressway, which is a facility designed primarily for traffic movement on a regional scale.

### **Major Collectors (Murillo Avenue, Yerba Buena Avenue, Quimby Road, Ruby Avenue, Delta Road)**

Major Collectors are designed to serve internal traffic movements within an area and connect with major arterials. Major collectors do not handle long through trips but do provide access to abutting properties.

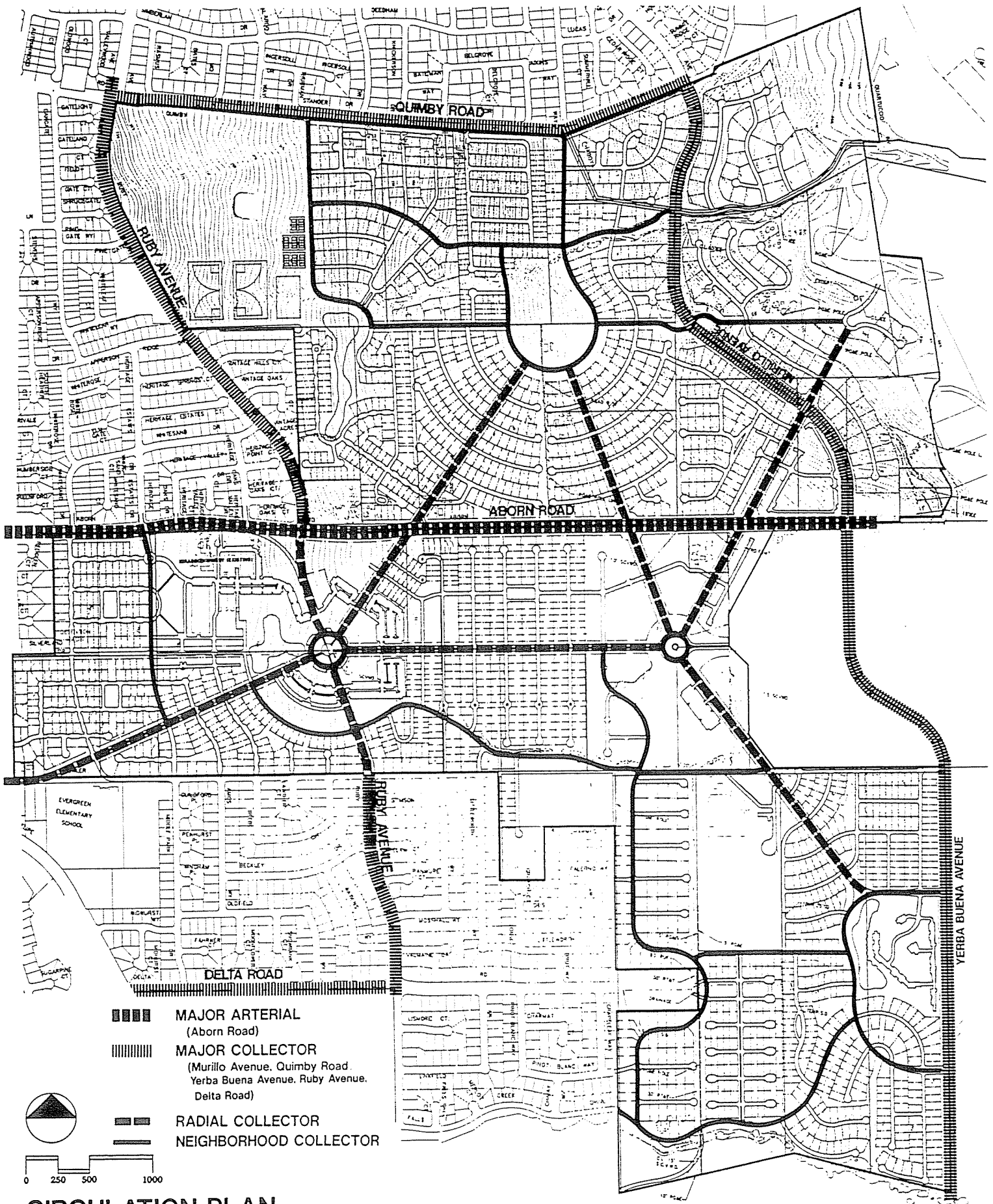
The Evergreen Specific Plan is bounded on the north by Quimby Road, which ultimately connects to Capitol Expressway. The plan area is also served by Murillo/Yerba Buena Avenue which crosses the site along the east. Murillo Avenue crosses the site from Quimby Road to Aborn Road at the base of the foothills serving as the boundary for the hillside lots. Murillo/Yerba Buena Avenue also serves as the project's eastern boundary south of Fowler Road. (Murillo Avenue changes names at Aborn Road and becomes Yerba Buena Avenue.) Murillo Avenue proceeds north to Tully Avenue and Yerba Buena Avenue ultimately connects with U.S. Highway 101.

Ruby Avenue connects northbound and southbound traffic to Aborn Road and Quimby Road and northbound traffic to Tully Road. Moving south of Aborn Road, there are no major destinations beyond the Village Center, and this segment will probably attract fewer trips.

Delta Road is an east-west collector street that runs parallel to Aborn Road. The primary purpose of Delta Road is to carry residential traffic within the existing neighborhoods to San Felipe Road, where the traveler has the option to go north to Aborn Road and beyond or south to Yerba Buena Avenue. The Evergreen Specific Plan has modified the Delta Road alignment within the project to avoid future "shortcut" trips through the residential neighborhoods to the future campus industrial areas.

### **Radial Collectors**

Radial collectors are designed to serve in the same fashion as the collector streets described above by handling internal traffic movements within an area and connect





with major collectors and arterials. In the case of the Evergreen Specific Plan, the radial collectors serve not only the traffic function as described, but also provide dramatic axial vistas to important civic structures, organize and link individual neighborhoods, and, in conjunction with trails and creek corridors, tie together major community amenities.

### **Neighborhood Collectors**

In addition to the radial collectors, a system of neighborhood collector streets are used throughout the specific plan area to connect the various individual developments and allow better inter-community circulation.

### **Local Residential Streets**

Although not specifically called out in the Circulation Plan (Exhibit 6), the local residential streets provide access within individual neighborhoods with a minimum amount of street paving area to place street trees as close together as possible.

### **Pedestrian/Bicycle Circulations**

The Evergreen Specific Plan recognizes the importance of alternative ways to move throughout the community without using an automobile.

Within the Specific Plan area, an evolved system of boulevards with ample landscaped setbacks, internal trail systems, and creek corridors serve to tie the entire project together and provide pedestrian and bicycle access to Fowler Creek Park, the two elementary schools, Chaboya Middle School, the future high school, and the various pocket parks scattered throughout the community. In addition, this system provides access through the project site to the Silver/Thompson Creek trail system to the east, and regional foothill trail system to the west.

Chapter Nine "Infrastructure" provides additional information on the Evergreen circulation system.

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# Community Design Strategy



## Chapter 6 - Community Design Strategy

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The Community Design Strategy of the Evergreen Specific Plan is intended to create an infrastructure and amenity framework which, when combined with design guidance and control, will steer the growth of this new community toward a high quality and a truly memorable neighborhood district. As the community develops, a measure of success in achieving this goal will be evidenced by the extent to which the mention of Evergreen brings to mind images of uniquely pleasant spaces and unique, coherent, and endearing structures.

### IMAGERY AND IDENTITY

While a well organized land use and circulation plan can provide the infrastructural framework of a pleasant and convenient community, it, by itself, does not create a memorable place. Indeed, stylistically chaotic, contextually irrelevant, parking-surrounded, single use projects can reduce the best of plans, at least perceptually, to simply more homogenous sprawl. Imagery and identity deal with the perception of community, not in plan form or from an airplane, but from the ground as we live, work, recreate, and simply move about our "turf".

In defining a relevant identity for the Evergreen Specific Plan cues are taken from the site's natural features, climate, and history, as well as the larger context of San Jose and the Bay Area.

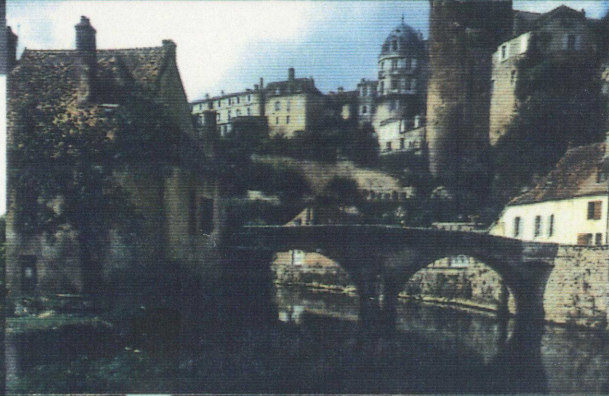
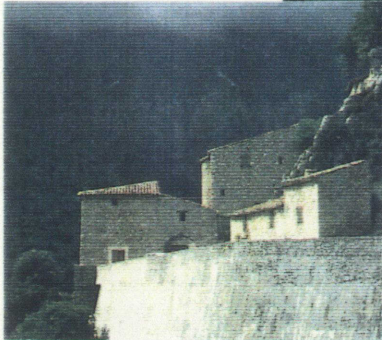
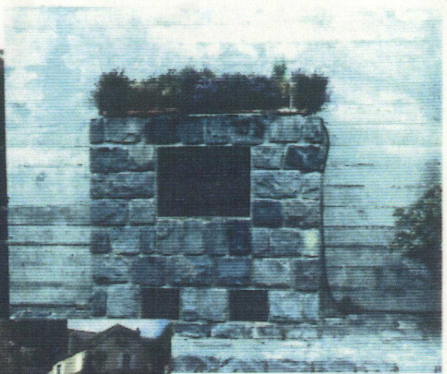
The Evergreen Specific Plan Area is a gently ( $\pm 5\%$ ) and very evenly sloping piedmont at the base of San Jose's eastern hills. It is traversed by several westerly flowing creek channels. These are in part natural riparian habitats and in part channelized waterways. Old orchards, hay crops, vineyards, natural grasslands, riparian corridors, a few specimen oaks and Eucalyptus groves comprise the existing vegetation. The most historically significant and character-giving existing structure is the Mirassou Winery at Aborn Road and Ruby Avenue.

Evergreen enjoys the mild, semi-arid weather typical of South San Francisco Bay. With a climatic heritage akin to the inland Mediterranean region of France and Italy, mild winters, warm dry summer days, and cool summer evenings afford a casual recreation-oriented lifestyle. Here, deciduous trees provide welcome summer shade and winter sun; semitropical freeze-tolerant plantings can provide counterpoint and accent; the thermal mass, dry heat hardening, and fireproof quality of stucco outperforms wood on building exteriors. Here too, alfresco dining, outdoor community activities, casual recreation, and children's sports schedules extend into the summer evening.

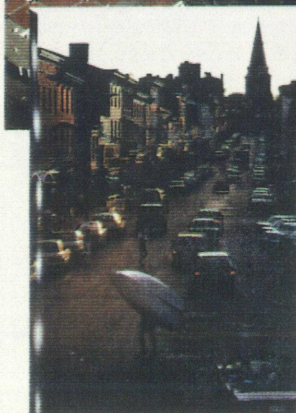
San Jose's residential heritage, like many west coast cities, is most charmingly embodied in its several 1920's and 1930's vintage neighborhoods. Flanking the Alameda or around Williams Street Park can be found romantic expressions of the European free-style architecture of the best prewar neighborhoods. Mediterranean, French, and English country vernaculars are freely interpreted and adapted to the area's climate and lifestyle.



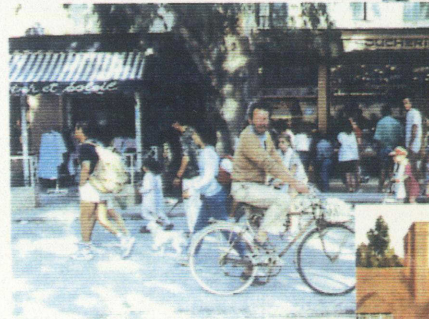
The Mirassou Winery recalls the colors, textures, materials, and ambiance of a French Village.



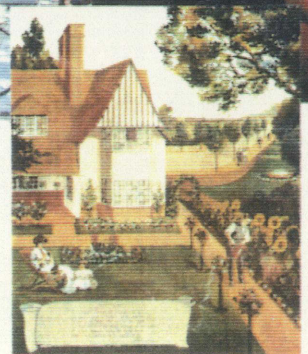
Topography, varying building mass and prominence of important buildings give definition to a community.



More than just circulation, streets can provide organization, form, vista and focus.



The opportunity to observe and participate in community life is as valuable as the ability to retreat from it.





Commonality of color, materials, and landscaping, and the grace of age blend this architectural potpourri into harmonious, coherent, and memorable "place".

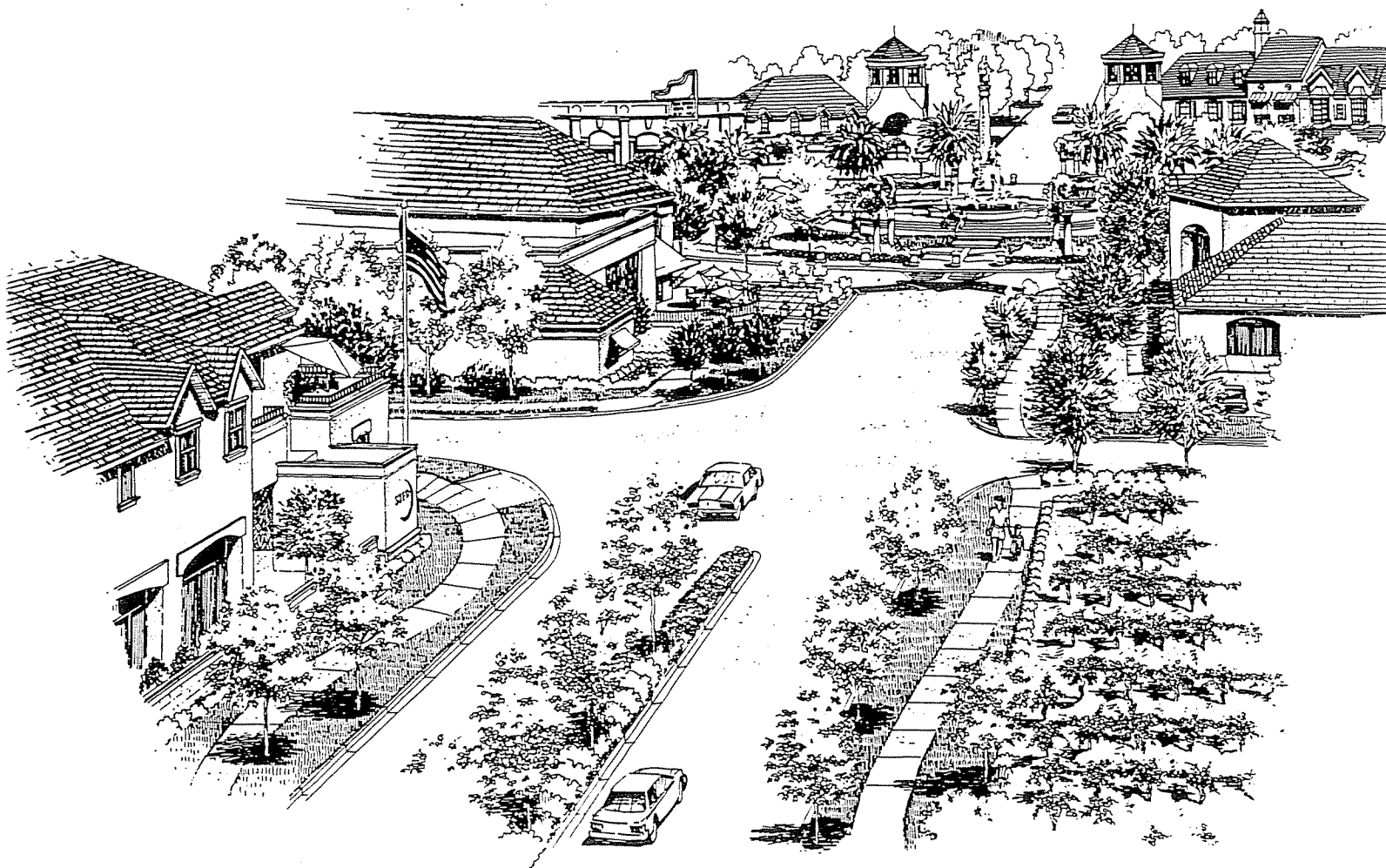
From these cues we can capitalize on, and enhance, the plan relationships to create a traditional village center neighborhood district with an inland Mediterranean ambiance and a freely interpreted European, and 1920's and 1930's American architectural character (Exhibit 7).

Entering the Specific Plan Area travelling east on Aborn Road, the first impression is of the historic Mirassou Winery buildings and the surrounding preserved heritage vineyards. A right hand sweep through these vineyards leads one directly past the fire station and into the village circle (Exhibit 8). Here, encircling 2-story facades of stone, masonry, and stucco, with steeply pitched roof elements, awnings, balconies, and arcades evokes a traditional character. Keying off the Mirassou Winery, color, textures, and materials recall the ambiance of a French village. The rotary provides limited on-street parking and encircles a village plaza large enough for community events such as art shows, Christmas tree lightings, etc. A radial street going northeast from the Village Center focuses directly on the bell tower or spire of the north side elementary school, while the radial street going due east focuses on another rotary at Fowler Creek Park, noted for its landmark hilltop community center. Exploiting topography and the larger building mass and prominence of these important buildings give definition to the community.

In organizing residential neighborhoods the Evergreen Specific Plan values the ability to observe and participate in community life as much as the ability to retreat from it. Higher densities overlooking and within walking distance of the town center offer an alternative to the more traditional and private single family neighborhoods.

To achieve this strategy, general and specific guidelines are proposed both in this and in subsequent sections of the Evergreen Specific Plan. The design character of common walls, hardscape, monumentation, and focal art are specifically defined in this specific plan and can be greatly influenced by the Evergreen Architectural Review Board (see Chapter Ten, "Implementation" re: Evergreen Architectural Review Board). Given their prominence, the architecture of public and commercial buildings is critical to the area's image and identity. These buildings are discussed specifically in subsequent sections of this plan.

Residential architecture, while less significant when looking at any single structure is, in aggregate, the most significant definition of community identity. While individual unit design cannot be defined in this document, general guidelines are described in this section and product type specific-guidelines and controls are included in subsequent sections. Throughout these residential neighborhoods the same traditional interpretive European architectural vernacular will prevail.



## EVERGREEN VISTAS

CITY OF SAN JOSE  
EVERGREEN SPECIFIC PLAN

## DESIGN CRITERIA

The Mediterranean ambiance combined with a freely interpreted European and 1920's and 1930's American architectural character will be achieved through these design and detail criteria.

### Variety

*Encouraged* - Building design relations, groupings, and streetscapes that demonstrate variety and appear to have grown over time.

*Discouraged* - Unvarying repetitive facades that present a monolithic "development".

### Project Definition

*Encouraged* - Develop individual project and market differentiation through innovative site relationships (zero lot line, "Z" lots, wide shallows, etc.), market-focused floor plans, signature detailing, and special neighborhood monumentation while harmonizing and supporting the Evergreen architectural character in form, color, and materials maintaining an open relationship to adjacent neighborhoods.

*Discouraged* - Developing "individuality" through "walling in" and adopting abruptly disharmonious and monolithic architectural style, color, and material.

### Public Face Of Buildings

A building's public face is important to the whole community and will be given special attention in design review. While this is typically the street-facing front elevations, equal concern will be given to side elevations on corner lots and rear elevations where visible to the public (i.e. hillside lots, lots backing onto open space, parking areas, etc.).

### Minimize Streetscape Impact Of Garage Doors

*Encouraged* - Side entry garages, street-facing garages set back from living areas, tandem garage stalls for housing more than two cars, alleys or shared drives, split garages, plant pockets, paving pattern changes and narrow curb cuts to soften the impact of driveways, single car garage doors, plant pockets between doors, trellis screening over doors, varying garage configurations among different floor plans in a neighborhood "project".



*Discouraged* - Unadorned street-facing garages forward of living areas, continuous 3-car, street-facing garages, large proportions of identical garage configurations on all plans in a neighborhood "project".

### **Articulated Building Form And Form/Style Harmony**

*Encouraged* - Articulated individual building form or variety of forms between buildings in a neighborhood project (Exhibits 9 and 10). Strong vertical accents; varied wall plate lines; building forms appropriate to suggested "style" (i.e. lower pitched roofs with barrel tiles on "Mediterranean" elevations, steeper pitches on "English" elevations).

*Discouraged* - Repetitive, unarticulated building forms. Style "applique" on inappropriate building forms (i.e. English half-timbering on 4:12 pitch roof ranch house), articulated roof forms set on constant wall plate height.

### **Architectural Expression Of Indoor/Outdoor Living**

*Encouraged* - Publicly visible balconies, verandas, porches, arcades, and loggias; gazebos, trellises, and seating areas in hardscape; gracious entry doors and porches; entry courtyards; living area windows facing the street; French doors to outdoor courtyards.

### **Creative Siting To Maximize Public And Private Outdoor Areas**

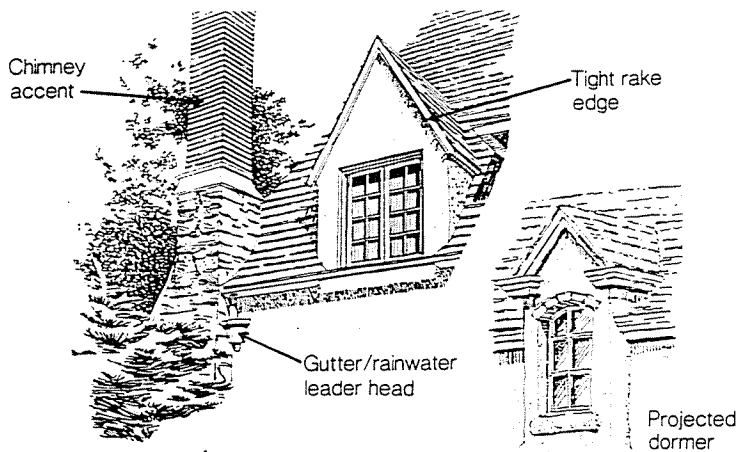
*Encouraged* - Zero lot line, "Z" lots, zipper lots, and other ways of using neighboring windowless walls to define private yard areas; split garages to create entry courtyards; sidewalk cafes, and balcony dining; open-air markets, arcades, street vendors, and vendor carts in the Village Center.

*Discouraged* - Window placement and siting that violates privacy of a neighbor's private outdoor area; narrow and unusable outdoor space; "no man's land" spaces such as slopes, corner lot sideyards, transitional spaces between uses, etc.; blank walls at pedestrian level in the Village Center.

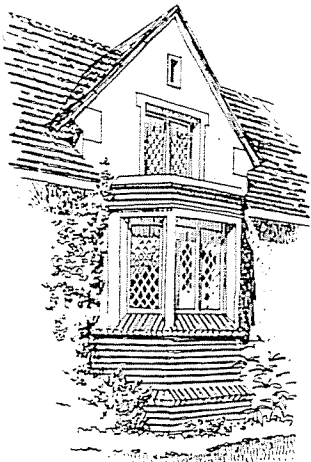
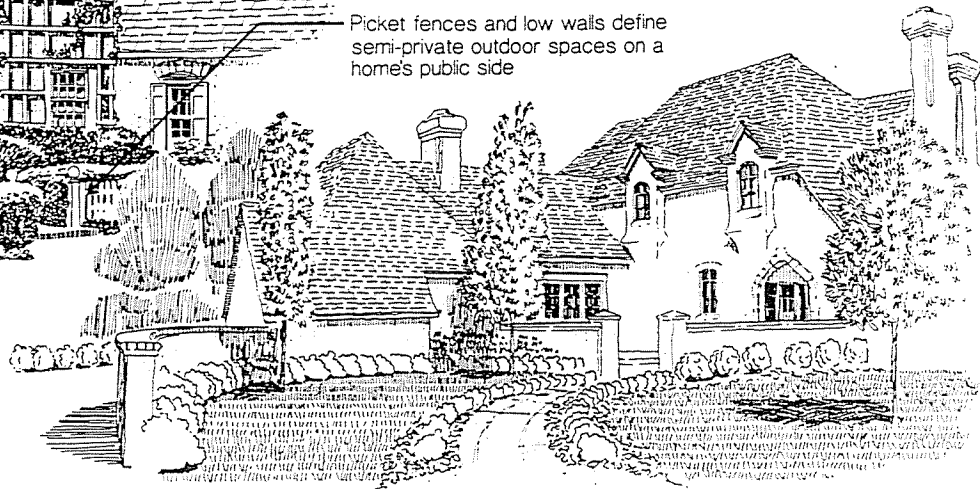
## **DETAILS**

### **Roof, Eaves, and Gable Ends**

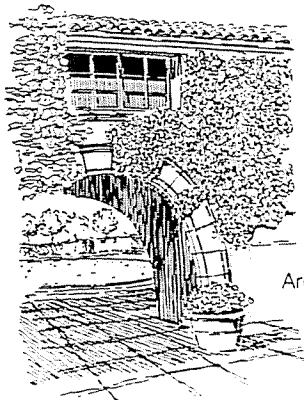
Roof pitches and materials should be appropriate to the traditional style the building is expressing; roof to wall details are a point of "finesse" that can legitimize a stylistic interpretation. Resolution of corners, roof-to-wall and rake-to-eave details have a dramatic impact on quality perception (Exhibits 9 and 10).



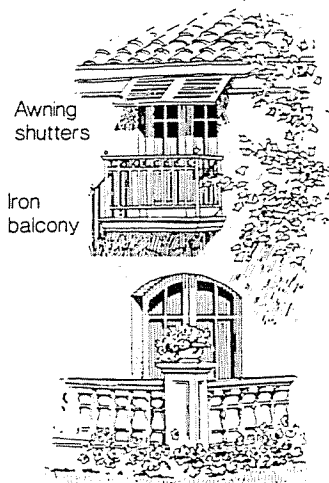
Picket fences and low walls define semi-private outdoor spaces on a home's public side



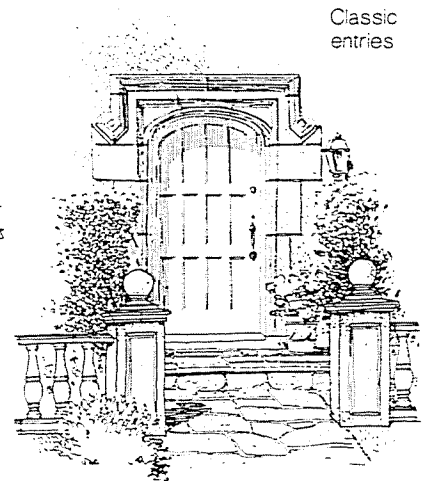
Bay Windows



Arcades



Awning shutters  
Iron balcony

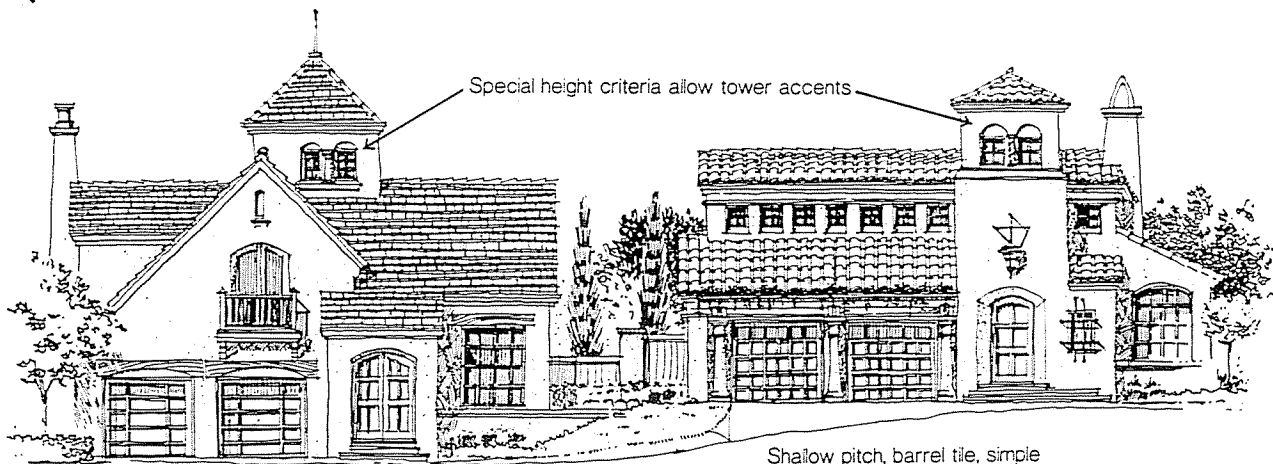
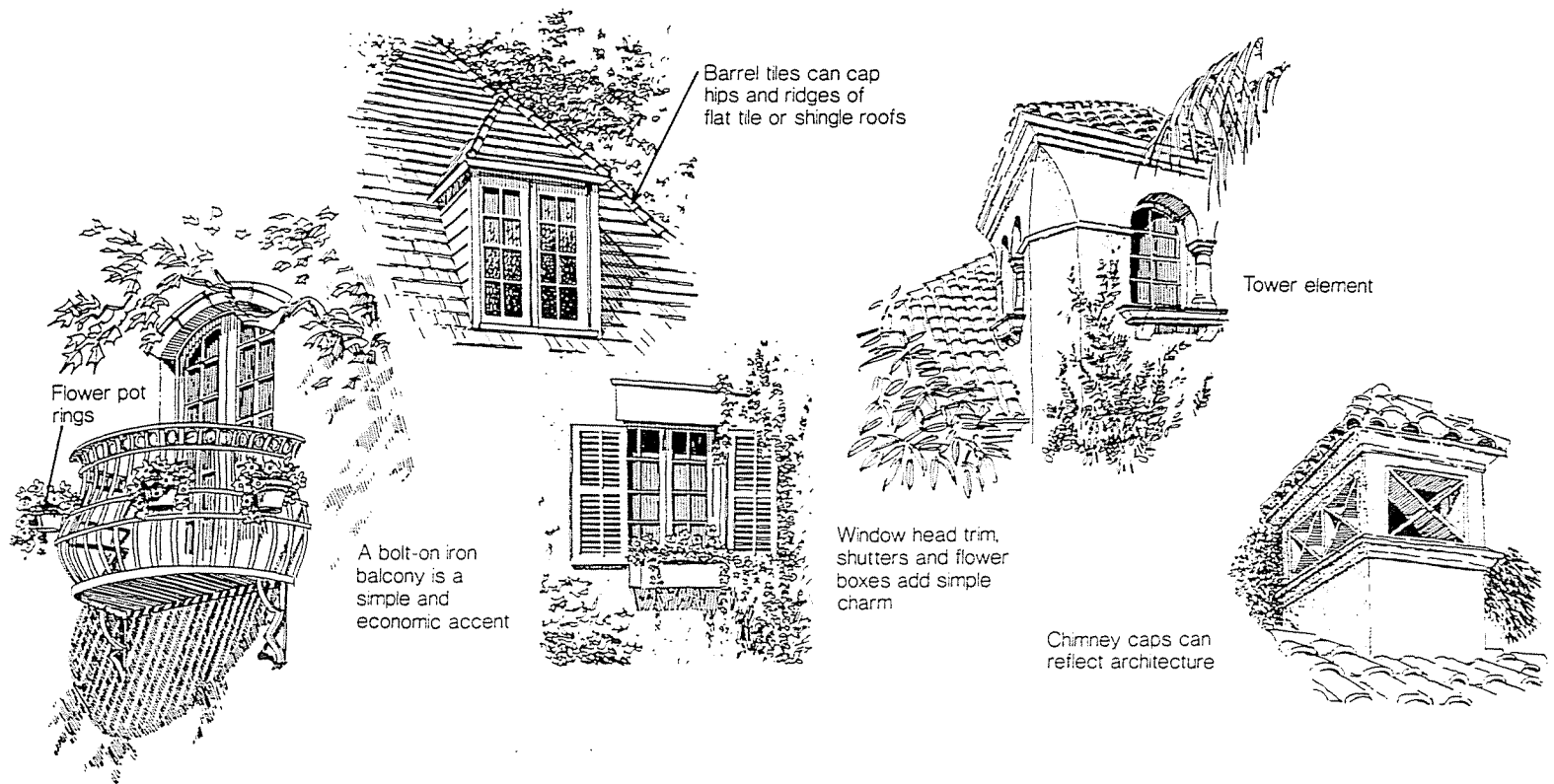


Classic entries

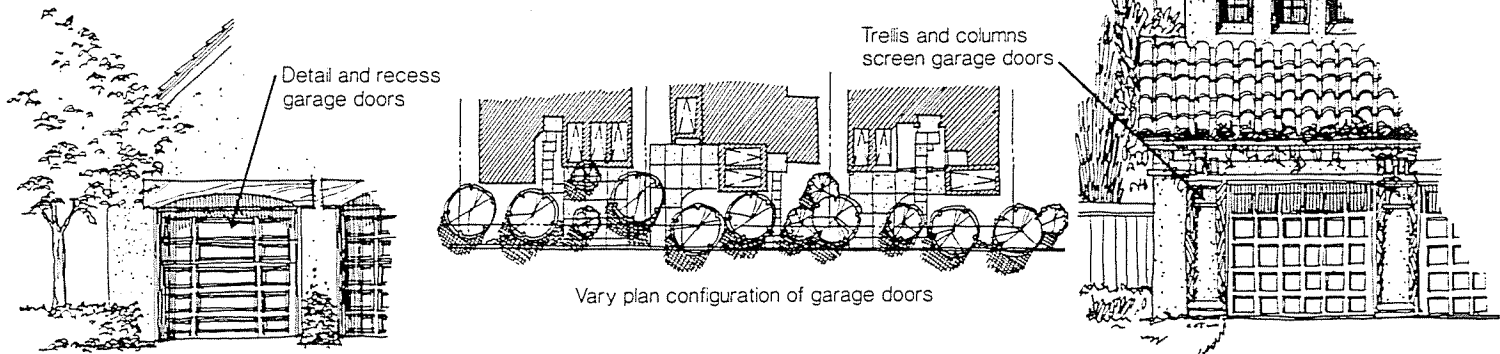
Balustraded porches

## ARCHITECTURAL DETAILS

CITY OF SAN JOSE  
EVERGREEN SPECIFIC PLAN



Steeply pitched, flat shingle or tile cascading roofs, define French and English Country vernacular



## ARCHITECTURAL DETAILS

CITY OF SAN JOSE  
EVERGREEN SPECIFIC PLAN

EXHIBIT

10

Mediterranean buildings generally have lower pitched (4:12 typical, 6:12 maximum) barrel tile roofs in simple classic hip and gable forms; eaves are tight; dormers and clipped gables are inappropriate.

English and French country buildings have steeper pitched roofs (9:12 to 12:12 typical, 6:12 minimum) and more complex forms. Hips, valleys, gables, clipped gables, dormers, and varying plate heights are all appropriate. Eaves often have a shallow pitched "kick". Rakes are very fine and tight.

Gutters, downspouts, and rainwater leader heads are integral to the roof/wall detailing and should be designed as part of the trim.

*Encouraged roof materials and their related style and pitch include -*

1. Barrel or "S" terra cotta, or integral color concrete tile in terra cotta tones is appropriate for Mediterranean-style buildings with pitches below 6:12.
2. Flat terra cotta, flat integral colored concrete, and wood shake are appropriate in roofs of 6:12 pitch and greater. Barrel tiles as caps on ridges and hips of flat tile roofs is a traditional accent. Colors should be terra cotta to brown to warm grey or natural wood.
3. Heavyweight composition shingles, slate, and wood shingles may be used with pitches over 9:12.
4. Flat roofs are allowed where appropriate to an acceptable architectural form, however, all visible areas including areas viewed from hills above are considered critical to the overall design. Therefore, rooftop material and color as well as flashing details, vents, and mechanical equipment will be approved only if they are incorporated into aesthetically acceptable roof designs.

*Discouraged roofing material includes -* composition shingles (below 9:12 pitches) or sheet roofing, synthetic wood shakes or shingles, high-glazed clay tile or glossy painted concrete tile, fiberglass, asbestos, or hard board shingles, unless specific product is approved.

Vertical accents such as cupolas, tower rooms, detailed chimneys, and "widow's walks" are encouraged and accommodated in the height limit criteria.

## Walls

*Encouraged materials* - Cement plaster, trowel-applied synthetic plaster (i.e. Dryvit), stone or brick masonry, cast concrete, shaped plaster, and tile are encouraged. Dimensional lumber or composite siding is allowed but requires adequate painting, staining, preserving, and maintenance to insure against uneven weathering, "sprinkler scallops", black mold or severe checking and splitting. Sheet siding such as plywood or masonite may be allowed (sparingly), but must be used in conjunction with sufficient masonry and trim accents to maintain an overall high quality appearance.

*Discouraged materials* - False stone or brick, false fiber board stucco, metal siding, vinyl siding, unfinished wood, exposed plain concrete block, sheet siding such as plywood or masonite.

Walls should be soft (radiused or chamfered stucco corners, "soft" brick or stone detailing). Stucco or cast concrete "plinths" and feathered bases at stone or brick are very appropriate.

## Openings

Windows should be adequately trimmed or set into walls.

*Encouraged window and skylight materials* - Clear or tinted glass, dark anodized or painted aluminum frames, wood frames, clear or tinted skylights integrated into architecture and with frames that blend with the roof, multi-paned windows.

*Discouraged window and skylight materials* - Reflective glazing, clear anodized or mill-finished aluminum frames, white or frosted plastic skylights.

Entries should be given special attention as a whole system including door, side windows, vestibule, porch, and entry walls. They should be inviting from the street and while weather protected, not overly buried. Bringing the richer materials of the building into play at the entry is a plus to both the street and the building.

Garage doors should be recessed into the building plane at least ten inches (10") when they are visible from the street. (Front facing garage door setbacks are to face of door not wall.) Roll-up garage doors are encouraged. Appropriate panel detailing and window panels are encouraged.

Framed openings such as porticos, arcades, colonnades, covered porches, and balconies are encouraged.

## **Decorative Details**

Applied decorative details are very appropriate to this architectural character and if done with finesse will distinguish this community from more typical suburban tracts. These details can be purely decorative applique such as plaster design applied to a stucco gable end, masonry pattern trim or coinage. They can "finish" an architectural element such as a cornice below the eave gutter, elaborate window heads and sills, shelves, and chamfers in a chimney composition or a tile or scraffito door surround. They can give a decorative flair to a functional element such as an awning shutter or fabric awning to shade a window; a bolt on wrought iron balcony; a cast balustrade guard rail; wrought iron flower pot rings, wood flower boxes; window shutters; gates; roof vents, etc. It takes only a few of these decorative elements to add a unique charm to a small home and they can often replace more costly and complex decorative framing.

## **Hardscape**

In this context, hardscape refers to all private development paving; outdoor "furniture", and structural landscape accents such as retaining walls, pot shelves, railings, etc.; garden structures such as bandstands, gazebos and trellises; utilitarian elements such as street lamps, mail boxes, signage, etc.; walls and gates; monumentation and focal art.

Public and common space walls, monumentation, focal art landscape structures as well as Village Center hardscape are described in other sections.

Publicly visible private hardscape shall compliment the architectural expression. Structural elements may be an extension of building architecture or a detailed, finely-scaled counterpoint. Paving should emphasize variety and generally be minimized in favor of landscaping. Juxtaposing dramatically different paving pattern and degrees of formality add a quaint "evolved" quality to pedestrian areas (Carmel is a classic example). Formal patterns can serve as base to a building yet step onto a meandering stone path into a garden area.

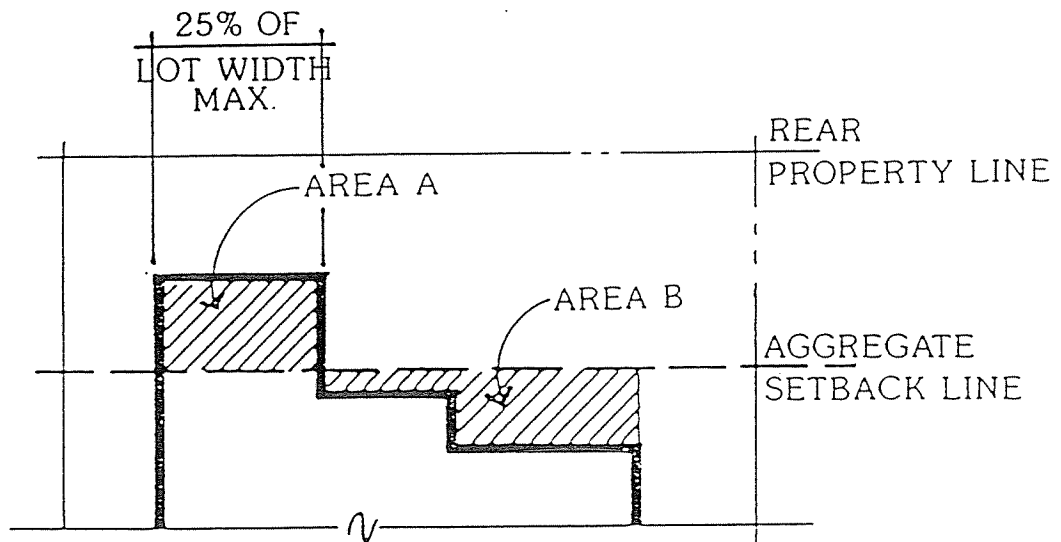
Outdoor furniture (such as seating, trash receptacles, tables, bollards, etc.) should be incorporated into other hardscape monumentation (i.e. fountain bases as wide benches), and of a complimentary style to the surrounding architecture and monumentation; or of a lightly scaled "patio furniture" type. Characterless, contemporary "municipal" standard designs are discouraged.

Lamp posts, signal light standards, and traffic signage should be organized to minimize visual chaos, especially at the Village Center and Fowler Creek Park rotaries.

## DEFINITIONS

### Aggregate Rear Yard Setback

The area beyond the setback line offset by an equal open area within the building envelope as illustrated below:



AREA A MUST BE NO GREATER THAN AREA B

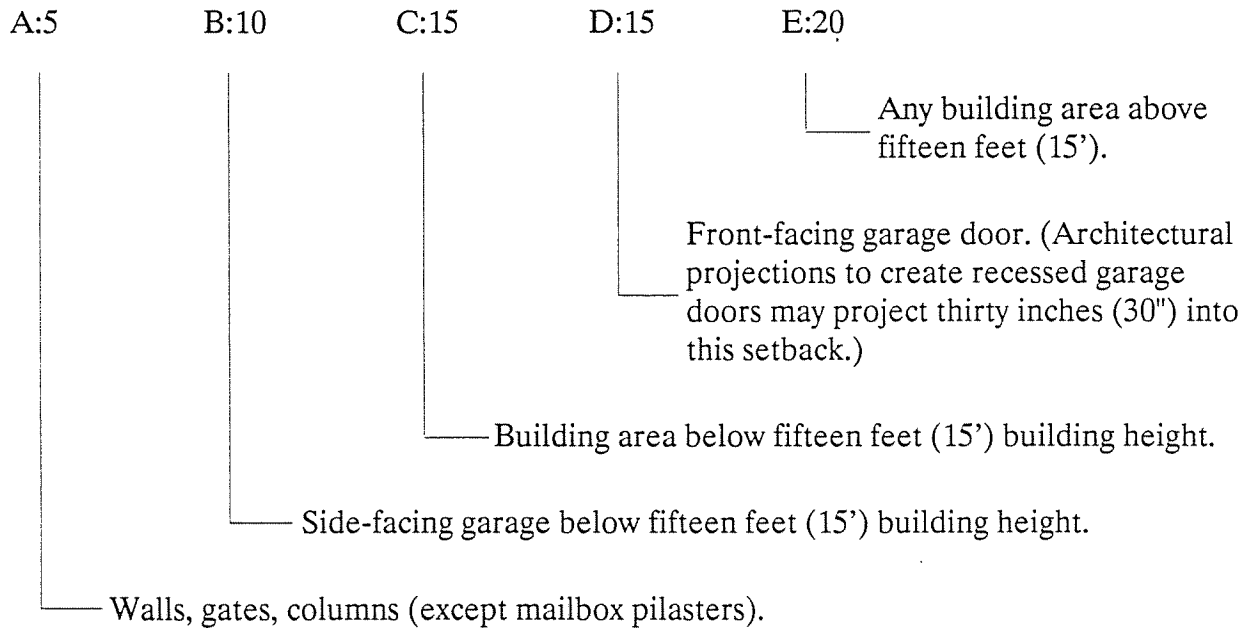
Projections across the aggregate setback line may not encroach onto the required side yards as defined in the setback guidelines section.

### Aggregate of Both Sideyards

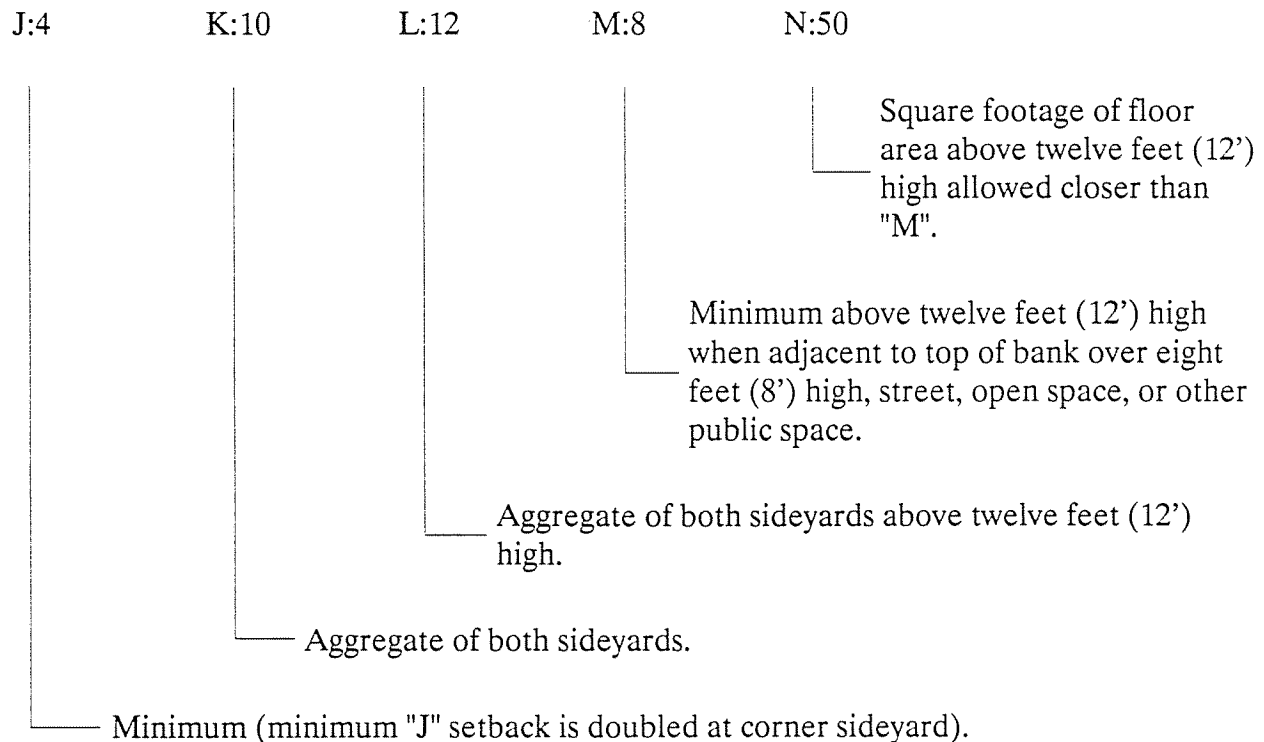
The total minimum setbacks of both sideyards combined.

## Setback Definitions

**Front Yard Setbacks** (Measured in feet from the property line along the street in a line perpendicular to the street, i.e. A:5 means "A" elements must be five feet (5') from the property line. **These numbers are used as examples only. Refer to the development criteria for actual setbacks.**):

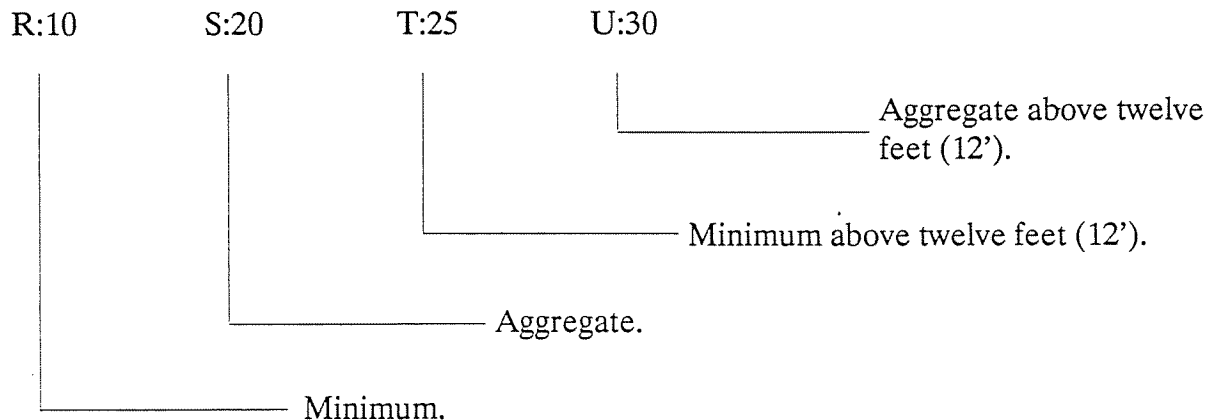


**Side Yard Setbacks** (measured from the side yard property line):





**Rear Yard Setbacks** (measured from the rear property line):



**Building Height:**

Building height is as defined below from Chapter 20.04.306 of the *San Jose Municipal Code* or as amended.

The "height" of a structure at any point is the vertical distance between its top surface or its building height plane and the "grade" immediately below it. For purposes of the Section, "grade" shall be determined as follows:

- A. For any point on the top surface of a structure, "grade" is the intersection of the vertical line, through said point, with a straight line which passes through:
  1. the vertical point; and
  2. the nearest point of the property line nearest to the vertical line; and
  3. a point on a second property line opposite to the first property line.

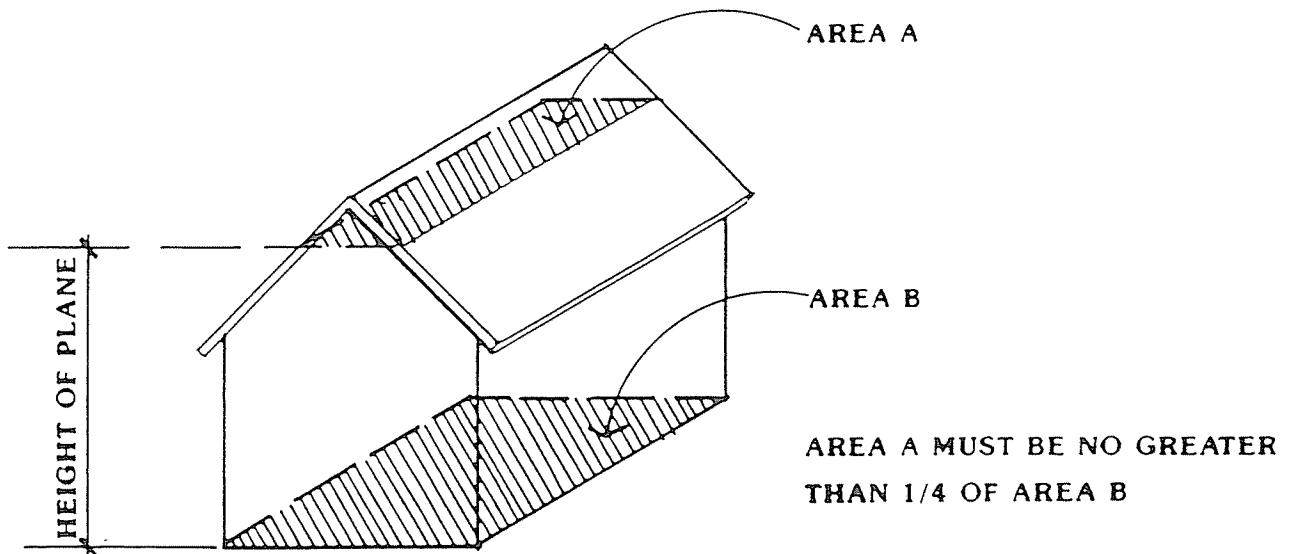
Said property lines shall be property lines of the same lot on which the structure being measured is constructed or installed and said property lines shall be assumed to lie on the surface of the finished ground elevation.

- B. When the point described in Subsection A.2 or in Subsection A.3 of this Section is more than seventy-five feet (75') from the nearest exterior surface of the structure, such point shall be moved along the same bearing, as was established pursuant to Subsection "A" of this Section, to a point at finished ground elevation and seventy-five feet (75') from said exterior surface.
- C. When there is an on- or off-site retaining wall located within six inches (6") of the property line at the point established by Subsection A.2 or by Subsection A.3, said point shall be moved along the same bearing, as was established pursuant to Subsection "A", to a point at finished ground elevation and twelve inches (12") off-site.

**Building Height Plane:** In an effort to avoid a "chopped off" appearance created by height restrictions, "building height plane" has been established to provide variety to buildings, is defined as follows:

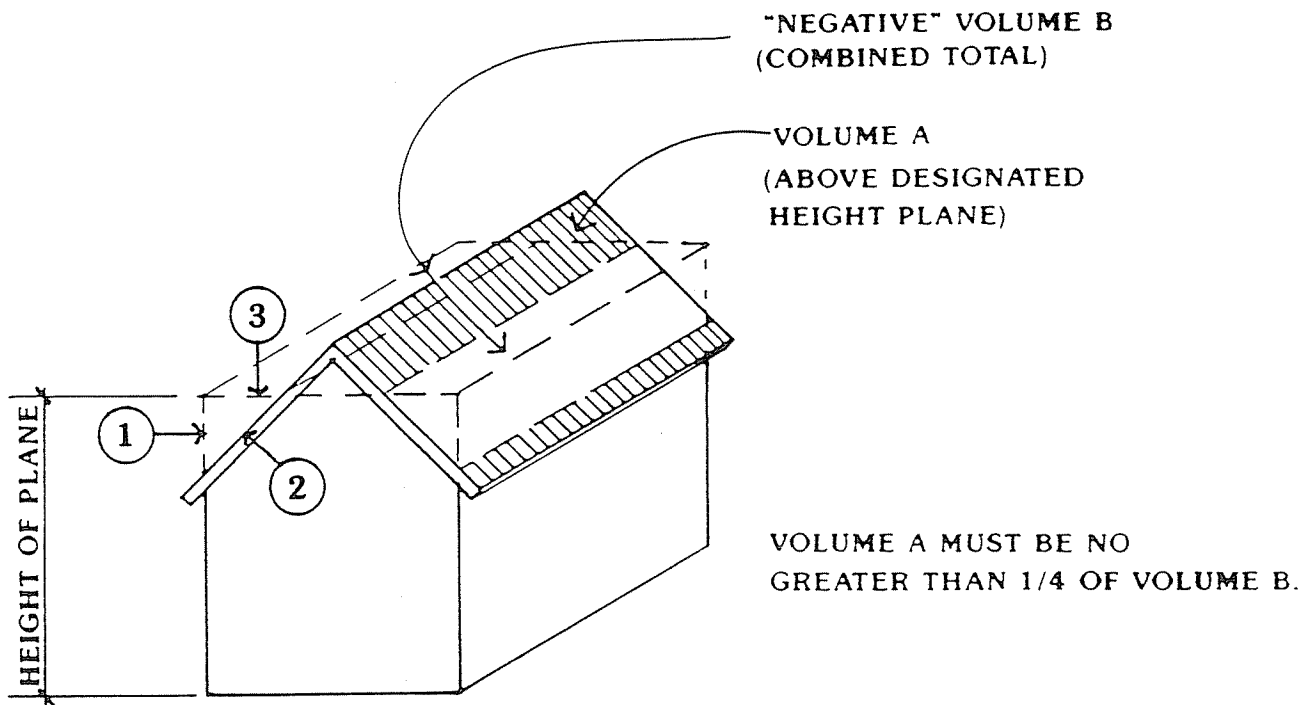
Designated building height shall define a plane, approximately parallel to the ground plane as it occurs around the perimeter of the structure. Building roofs may protrude above this height plane subject to the following limitations:

1. No part of the roof may exceed the designated building height plane by more than eight feet (8').
2. The area of the protrusion(s) where it penetrates above the designated building height plane cannot exceed  $1/4$  of the building footprint.



3. The volume of the roof protrusion(s) (A) above the building height plane may not exceed 1/4 of the "negative" volume (B) defined by the following:

- 1) The vertical projection of the perimeter walls above the roof.
- 2) The roof slope.
- 3) The building height plane.



4. Vertical accents such as chimneys, spires, tower rooms, widow's walks, etc. are encouraged and not subject to the above described height limitations. Vertical accents may exceed the building height plane by a maximum of twelve feet (12') or up to the General Plan height policy maximum, which ever is less. Vertical accents are limited to a horizontal cross sectional area (cut anywhere above the building height plane) of 1/8 of a single family building or of 5% of a multi-family footprint. No single vertical accent may exceed 250 square feet. Vertical accents are allowed as a prominent design feature. Conformance to the height and area criteria alone does not guarantee their approval. PD permit approval of such accents will be carefully considered with regard to architectural quality, as well as impact on public and neighboring private spaces.

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## **Major Parks and Recreational Amenities**



## Chapter 7 - Major Parks And Recreational Amenities

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Critical to the establishment of a new community in the Evergreen area is the creation of community facilities such as public buildings and recreational amenities. Community and recreational amenities not only provide activity areas such as playfields or tennis courts, but also traditionally serve as community and civic gathering points. In today's world, the community votes at schools, child care is offered at community centers, and neighborhood interaction occurs in connection with other activities such as little league baseball or soccer sign ups. Community amenities such as Fowler Creek Park will serve the broader Evergreen area beyond that of just the boundaries within the Specific Plan area. In the recent past, the majority of residential developments within the Evergreen area were developed independent of one another, and were of relatively small scale. This prevented the development of a cohesive plan to provide community facilities and did not encourage the placement of community facilities in prominent locations. Through the Evergreen Specific Plan, the Evergreen community will be served by a variety of new community-scale amenities (Exhibit 11).

### RECREATIONAL AMENITIES

The Evergreen Specific Plan will create three recreational areas within the plan area (Exhibit 12). These recreational amenities are as follows:

#### **High School Playfields**

The Specific Plan has identified the placement of recreational facilities on the vacant high school site as shown on Exhibit 12. At the time of drafting this document, the East Side Union High School District has stated that recent demographic information indicates that a new high school would be needed in the area and the District has indicated that they will proceed with plans to construct a high school on their property within the Evergreen Specific Plan by 1996. If the School District's capital improvement program includes construction of the school within three years of the formulation of the second, and presumably final, Evergreen Specific Plan Financing district, the Evergreen Specific Plan area will not be responsible for constructing the playfields but will make a contribution beyond the AB 2926 funds to the School District for general construction costs. If the School District plans construction of the school beyond the three year time frame identified above, the Evergreen Specific Plan area will be responsible for the construction of the playfields using the intended contribution beyond the AB 2926 funds. Should the School District decide not to build the new high school on the Quimby Road site, the Evergreen Specific Plan area will have no obligation to construct or contribute to these playfields.